



Planning Commission Meeting
AGENDA
Wednesday, August 11, 2021, 6:00 PM

Work Session, 6:00PM Council Chambers Conference Room

Regular Session 7:00PM Council Chambers, City Hall, 114 North Broad Street, Salem, Virginia 24153

WORK SESSION

1. Call to Order
2. New Business
 - A. **Discussion item from the September meeting**
Rezoning of 405 Kimball Avenue, Tax Map # 235-1-2 from RMF, Residential Multi-Family District with condition to RMF, Residential Multi-Family District without conditions.
 - B. **Discussion items from the August Meeting**
Discussion of items from the August 11, 2021, regular session agenda.
3. Adjournment

REGULAR SESSION

1. Call to Order
2. Pledge of Allegiance
3. Consent Agenda
 - A. **Minutes**
Consider acceptance of the minutes from the July 14, 2021, work session and regular meeting.
4. New Business
 - A. **Amendment to the Zoning Ordinance**
Hold public hearing to consider the request of Layman Candy Company, Inc., contract purchasers, and Lewis-Gale Medical Center, LLC, property owner, for rezoning a portion of the property located at 2105 Apperson Drive (Tax Map # 281-1-2) from BCD Business Commerce District to LM Light Manufacturing District.
 - B. **Amendment to the Zoning Ordinance**

Hold public hearing to consider the request of Roanoke College Trustees, property owner, for rezoning a portion of the property located at 232 North Broad Street (Tax Map # 87-7-7), from CUD College and University District to RSF Residential Single-Family District.

C. The Village at North Mill Phase Four

Consider the request for preliminary and final approval of proposed subdivision plan and plat filed by RFC2017 Land, LLC, property owner/developer, for a 7.767-acre tract known as The Village at North Mill Phase Four.

D. Calhoun Townhomes

Consider the request for preliminary and final approval of proposed subdivision plan and plat filed by Virginia Valley Properties, LLC, property owner/developer, for a 0.72-acre tract known as the Calhoun Townhomes.

E. Salem Historic Registry

Consider petition from JASS Properties, Inc., for inclusion in the Salem Historic Registry of the property located at 401 South market Street (Tax Map # 145-10-2).

5. Adjournment

City Council meeting, August 23, 2021, 6:30 p.m.
Council Chambers, City Hall, 114 North Broad Street

AT WORK SESSION OF THE PLANNING COMMISSION OF THE CITY OF SALEM,
VIRGINIA HELD AT COUNCIL CHAMBERS, CITY HALL, 114 NORTH BROAD STREET,
SALEM, VIRGINIA

AGENDA ITEM:

Amendment to the Zoning Ordinance

Discuss Rezoning of 405 Kimball Avenue, Tax Map # 235-1-2
from RMF, Residential Multi-Family District with condition to
RMF, Residential Multi-Family District without conditions.

SUBMITTED BY:

Benjamin W. Tripp, AICP, CEcD, City Planner

SUMMARY OF INFORMATION:

Zoning: RMF Residential Multi-Family, with conditions

Future Land Use Plan Designation: Residential

Existing Use: Vacant

Proposed Use: Townhouse

The subject property consists of a single parcel of approximately 0.8 acres, located along the north side of Kimball Avenue, east of the intersection with Pyrtle Drive. It is was commonly known as the site of "Mount Regis" before it was destroyed by fire. The property is currently vacant.

SUMMARY OF PROPOSED CHANGES:

The applicant is requesting the following condition be removed:

The only R-4, Residential District, use which will be made of the property will be as a human care facility.

Doing so will allow the construction of townhomes by right.

PETITION FOR ZONING AMENDMENT (REZONING)

City of Salem Community Development Department

Benjamin W. Tripp, AICP - City Planner

Email: btripp@salemva.gov

Telephone: 540-375-3032

1. Applicant(s): Salem Building Supply, Inc c/o Brad Graham

2. Legal Owner(s) of property requested to be rezoned:
PHC of Virginia, Inc.

3. Location of Property:

Address: 405 Kimball Avenue Salem, VA 24153

Subdivision: Lots 1-5, Section 42, Salem, Development Co

Official Tax Map Number: 235-1-2

4. Characteristics of Property:

Size (Acreage): 0.82 ac.

Deed Restrictions: n/a

Present Use: Previous Human Care Facility - Currently Vacant

5. Zoning Classification:

Present Zoning: RMF - Residential Multi-Family District w/condition

Proposed Zoning: RMF - Residential Multi-Family District

Land Use Designation: Residential

6. Reason(s) for Rezoning Request (Including proposed use):

Removal of existing condition for the construction of residential townhomes

7. Agent(s) or representative(s) of property owner(s): (Specify interest)

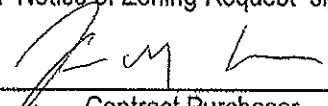
Balzer & Associates, Inc. c/ Ben Crew

Mailing Address: 1208 Corporate Circle Roanoke, VA 24018

Telephone Number: 540.772.9580

8. Affidavit:


A. The undersigned person certifies that this petition and the foregoing answers, statements, and other information herewith submitted are in all respects true and correct to the best of their knowledge and belief. Also, the petitioner understands that a "Notice of Zoning Request" sign will be posted on the property by the City.

Applicant Signature:  Date: 7/29/21

Applicant Interest in Property: Contract Purchaser

Applicant Mailing Address: 301 Kessler Mill Road Salem, VA 24153

Applicant Phone Number: 540-293-3520

Owner Signature:  Date: 7/29/21

Owner Interest in Property: Seller

Owner Mailing Address: 125 Knotbrook Road, Salem VA 24153

Owner Telephone Number: 540.289.4161

August 2, 2021

Mr. Jay Taliaferro - City Manager
City of Salem Community Development
21 South Bruffey Street
Salem, VA 24153

RE: 405 Kimball Avenue – Salem, VA 24153
Tax Parcel : 235-1-2
Removal of Existing Proffered Condition

The owner hereby requests the removal of an existing proffered condition enacted by previous Ordinance which was passed by City Council on June 13, 1988 and effective June 23, 1988. The existing condition to be removed are listed below.

1. The only R-4, Residential District, use which will be made of the property will be as a human care facility.

Owner:

Print

Jenna Kinder, CEO

Sign

J Kinder

Date

7/29/21

Applicant:

Print

Jesse Cook (Salem Building Supply LLC)

Sign

J M C

Date

7/29/21

August 2, 2021

Mr. Jay Taliaferro
City Manager - City of Salem
21 South Bruffey Street
Salem, VA 24153

**RE: 405 Kimball Avenue – Salem, VA 24153
Balzer and Associates, Inc. Job # 04210054.00
Rezoning Request**

Dear Mr. Taliaferro,

PHC of Virginia, Inc. (Property Owner) and Salem Building Supply, Inc. (Contract Purchaser) are providing official application, supporting documents, and associated fees required to request a removal of an existing proffered condition on tax parcel 235-1-2. The zoning designation will remain the same as Residential Multi-Family District (RMF). The removal of the existing proffered condition will allow the site to be developed as townhomes under the current zoning district.

Project Narrative & Existing Conditions:

The existing parcel is currently vacant and has been since the Mount Regis facility was destroyed by fire in 2016. The Mount Regis facility use of “Human Care Facility” is the only allowable use per the current proffered condition. Salem Building Supply, Inc. intends to develop the site into seven (7) townhomes with associated improvements. This use is complementary to the existing mix of single family residential, two-family dwellings, and multi-family development in the area. These residential townhomes will compliment the surrounding area while providing additional opportunities for housing within the City of Salem.

See attached civil exhibit plan – “Zoning Exhibit – Exhibit A” dated 8/3/2021 for the proposed townhouse buildable area. Exhibit B and B1 have been provided offering an example of the townhouse elevations from Kimball Avenue. The existing parcel is approximately 0.82 acres and is bounded by the public rights-of-way of Kimball Avenue to the South, RSF zoned property to the west, north, and east. The parcel generally drains from south to north.

Buffers

A twenty five (25') buffer consisting of evergreen trees will provided between the existing adjacent RSF parcels and the existing RMF zoning (subject parcel).

Comprehensive Development Plan & Summary:

This project is in conformance with many of the Goals and Objectives defined in the City of Salem's Comprehensive Plan. This project is sensitive to the existing surrounding properties by utilizing a vacant property for an appropriate use to match surrounding land uses. This project provides an excellent opportunity to the City of Salem to gain additional residential property in a location of high demand.

Sincerely,

A handwritten signature in black ink, appearing to read 'BTK' or similar, with a stylized, cursive-like font.

Benjamin T. Crew
Associate

SITE SUMMARY:

OWNER: PHC OF VIRGINIA INC
125 KNOTBREAK RD
SALEM, VIRGINIA 24153

ZONING: RMF-- RESIDENTIAL MULTI-FAMILY

TAX MAP NUMBER: 235-1-2

TOTAL LOT SIZE: 0.82 AC.

MINIMUM LOT AREA: 7,200 SQ. FT.

MINIMUM STREET FRONTAGE: 60 FT.

MINIMUM LOT WIDTH: 75 FT.

SETBACK REQUIREMENTS: F.Y.S. - 25 FT. (MIN.)
S.Y.S. - 10 FT. (MIN.)
R.Y.S. - 10 FT. (MIN.)

MAXIMUM BUILDING SIZE: NONE

MAXIMUM BUILDING HEIGHT: 45 FT.

MINIMUM DEVELOPMENT SIZE: 15,000 SQ. FT.

MAXIMUM DENSITY OF DEV.: 10 UNITS/ACRE

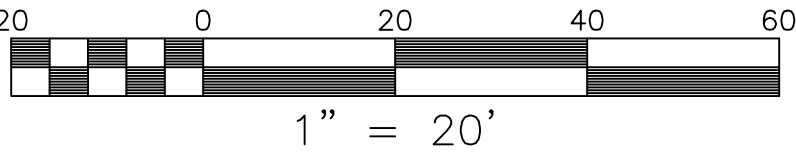
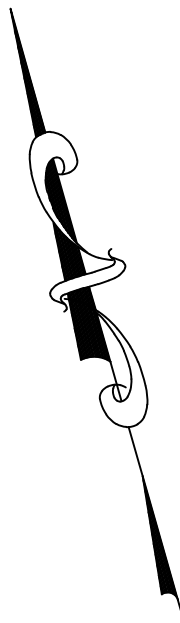
0.82 ACRES= 8 UNITS

LANDSCAPE BUFFER REQUIREMENT: 25' TYPE C BUFFER

MINIMUM TOWNHOUSE WIDTH: 16 FT.

CONCEPT PLAN NOTE:

1. THIS PLAN IS FOR CONCEPTUAL PLANNING PURPOSES AND HAS BEEN PREPARED USING COMPILED INFORMATION. A CURRENT FIELD SURVEY HAS NOT BEEN PERFORMED TO VERIFY ALL EXISTING CONDITIONS ON-SITE.
2. AERIAL IMAGERY SOURCED FROM GOOGLE EARTH IMAGE, DATED NOVEMBER 2019



BALZER & ASSOCIATES
PLANNERS / ARCHITECTS
ENGINEERS / SURVEYORS

Roanoke / Richmond
Shenandoah Valley
New River Valley / Lynchburg

www.balzer.cc

1208 Corporate Circle
Roanoke, VA 24018
540.772.9580

PRELIMINARY

KIMBALL AVENUE TOWNHOMES

ZONING EXHIBIT

405 KIMBALL AVENUE
CITY OF SALEM

DRAWN BY SMD
DESIGNED BY BTC
CHECKED BY BTC
DATE 8/3/2021
SCALE 1" = 20'
REVISIONS

EX-A
PROJECT NO. 04210054.00

EXHIBIT B - ARCHITECTURAL
ELEVATION

| BUILDING HEIGHTS | |
|--|---------|
| UNIT 1 - | 23'-11" |
| UNIT 2 - | 29'-0" |
| UNIT 3 - | 28'-10" |
| UNIT 4 - | 28'-0" |
| UNIT 5 - | 24'-0" |
| UNIT 6 - | 28'-9" |
| UNIT 7 - | 23'-11" |
| (TOP OF MAIN LEVEL SUBFLOOR TO HIGHEST ROOF PEAK) | |



ELEVATION NOTES:
NUMBER OF PORCH STEPS TO BE DETERMINED BY FINISH GRADE. HANDRAIL REQUIRED WITH 4 or MORE RISERS.
FINISH GRADE SHALL FALL AWAY FROM THE STRUCTURE A MINIMUM OF 4 INCHES WITHIN THE FIRST 10 FEET.
CONTRACTOR TO PROVIDE DESIGN FOR DRIVEWAYS, SIDEWALKS, RETAINING WALLS AND ALL OTHER SITEWORK.
EXTERIOR FINISHES PER OWNER/CONTRACTOR.
12-INCH OVERHANG AT SIDING & PORCH RACKS AND 14-INCH OVERHANG AT BRICK VENEER, UNLESS NOTED. (EXT. FACE OF SHEATHING TO OUTSIDE FACE OF FASCIA)



FRONT ELEVATION
1/4" = 1'-0"

REVISION:
1/22/19 - RELEASED FOR UNITS 1, 2 & 3

| | | |
|--------------------------------|-----------|-------|
| BURWELL POINT HENMARK, INC. | | |
| DATE: | 1/23/2019 | SHEET |
| FILE: | ELEV | A-8 |
| DRAWN BY: | K. DAVIS | |

EXHIBIT B1 - ARCHITECTURAL
ELEVATION



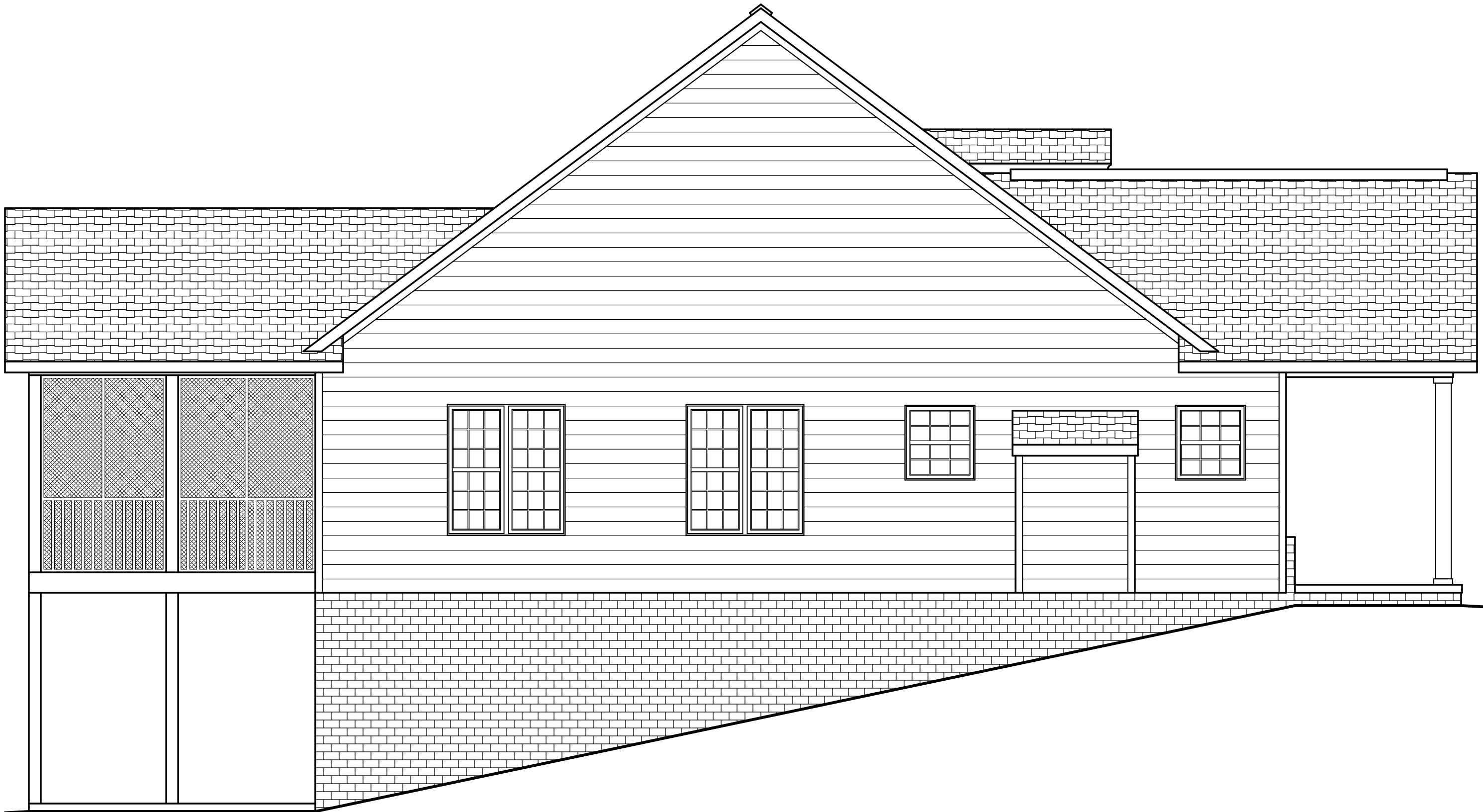
UNIT 3 (PLAN B)

UNIT 2 (PLAN C)

UNIT 1 (PLAN A)

REAR ELEVATION (UNITS 1-3)
1/4" = 1'-0"

ELEVATION NOTES:
NUMBER OF PORCH STEPS TO BE DETERMINED BY FINISH GRADE. HANDRAIL REQUIRED WITH 4 or MORE RISERS.
FINISH GRADE SHALL FALL AWAY FROM THE STRUCTURE A MINIMUM OF 4 INCHES WITHIN THE FIRST 10 FEET.
CONTRACTOR TO PROVIDE DESIGN FOR DRIVEWAYS, SIDEWALKS, RETAINING WALLS AND ALL OTHER SITEWORK.
EXTERIOR FINISHES PER OWNER/CONTRACTOR.
12-INCH OVERHANG AT SIDING & PORCH RACKS AND 16-INCH OVERHANG AT BRICK VENEER, UNLESS NOTED. (EXT. FACE OF SHEATHING TO OUTSIDE FACE OF FASCIA)



LEFT SIDE ELEVATION (UNIT 1)
1/4" = 1'-0"

UNITS 1, 2 & 3

| | | |
|--------------------------------|-----------|-------|
| BURWELL POINT HENMARK, INC. | | |
| DATE: | 1/23/2019 | SHEET |
| FILE: | REAR 3 | A-9 |
| DRAWN BY: | K. DAVIS | |

REVISION:
1/22/19 - RELEASED FOR UNITS 1, 2 & 3

LEGAL DESCRIPTION:

KIMBALL AVENUE TOWNHOUSE

TAX MAP NUMBER 235-1-2

BEGINNING AT A POINT ON THE NORTH LINE OF KIMBALL AVENUE;
THENCE N 15°37'00" E A DISTANCE OF 165.00' TO A POINT ON THE SOUTH LINE OF AN UNIMPROVED STREET;
THENCE S 57°44'05" E A DISTANCE OF 247.30' TO A POINT;
THENCE WITH A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 127.77', WITH A RADIUS OF 101.02', WITH A CHORD BEARING OF S 21°30'00" E, WITH A CHORD LENGTH OF 119.42' TO A POINT ON THE NORTH LINE OF KIMBALL AVENUE;
THENCE N 74°11'00" W A DISTANCE OF 309.00' TO A POINT WHICH IS THE POINT OF BEGINNING.

HAVING AN AREA OF 35,809 SQUARE FEET, 0.822 ACRE

UNAPPROVED MINUTES
PLANNING COMMISSION WORK SESSION
July 14, 2021

A work session of the Planning Commission of the City of Salem, Virginia, was held in Council Chambers Conference Room, City Hall, 114 North Broad Street, at 6:00 p.m., on July 14, 2021, there being present the members of said Commission, to wit: Vicki G. Daulton, Chair; Denise P. King, Vice Chair, Reid A. Garst II, N. Jackson Beamer, and Neil L. Conner; together with James E. Taliaferro, II, City Manager and Executive Secretary, ex officio member of said Commission; Charles E. Van Allman, Jr., Director of Community Development, Mary Ellen Wines, Zoning Administrator; Benjamin W. Tripp, City Planner; and Jim H. Guynn, Jr. City Attorney; and the following business was transacted:

Whereas Chair Daulton called the meeting to order at 6:02p.m. and reported that this date, place, and time had been set in order for the Commission to hold a work session; and

In re: Hold public hearing to consider the request of the Salem Historical Society, property owner, for rezoning the property located at 1936 West Main Street (Tax Map # 138-2-7) from CBD Community Business District with proffered conditions to CBD Community Business District without conditions.

Whereas staff noted the following: the subject property consists of a single parcel of approximately 9.4 acres, located along the south side of West Main Street, east of the intersection with Wildwood Road. It is occupied by a historically designated two-story home.

Whereas Commissioner Garst inquired if CBD was the correct zoning district for this property; and

Whereas, Mr. Tripp responded affirmatively, that the Society had wanted to have the flexibility to have residential on the 2nd floor; and

Whereas, a full and lengthy discussion was held regarding the request of the Salem Historical Society, property owner, for rezoning the property located at 1936 West Main Street (Tax Map # 138-2-7) from CBD Community Business District with proffered conditions to CBD Community Business District without conditions; and

In re: Hold public hearing to consider the request of Property Catalyst Group, Inc., applicant, and Layman Candy Company, Inc., property owner, for rezoning the property

located at 1637 East Main Street (Tax Map #77-3-13) from LM Light Manufacturing with proffered conditions, to HBD Highway Business District without conditions; and

Hold public hearing to consider the request of Property Catalyst Group, Inc., applicant, and Layman Candy Company, Inc., property owner, for rezoning the property located at 23 Dalewood Avenue (Tax Map #77-3-12) from HBD Highway Business District with proffered conditions, to HBD Highway Business District without conditions; and

Hold public hearing to consider the request of Property Catalyst Group, Inc., applicant and Layman Candy Company, Inc. and George W. Givens Jr. & Susan K. Givens, property owners, for the issuance of a Special Exception Permit to allow personal storage on the properties located at 1637 & 1641-1647 East Main Street, and 11, 15, & 23 Dalewood Avenue (Tax Map #s 77-3-13, 77-3-16, 77-3-15, 77-3-14, and 77-3-12).

Whereas staff noted the following: Items 4B, 4C, and 4D are all connected. There is only one staff report to cover the entire project, but there are three separate requests which must be voted on; and

Whereas staff explained that the subject property consists of five parcels totaling approximately two acres, located at the northeast corner of Electric Road and East Main Street. They are occupied by a large L shaped warehouse, parking areas, two single family homes, and a two-story commercial structure. Tax Map 77-3-12 and 77-3-13 have the following conditions: The following conditions voluntarily proffered shall apply in addition to the regulations contained in Chapter 32 of The Code of the city of Salem: 1. A fifty-foot setback will be observed from the centerline of Dalewood Avenue should the rental property be moved for future building expansion. 2. Proper screening will be provided on the north side of the property. SUMMARY OF PROPOSED CHANGES; The applicant is requesting the LM zoned property be rezoned to HBD without conditions (Item B), that the HBD property with conditions have its conditions removed (Item C), and that a Special Exception Permit be granted in order to allow the Personal Storage use on all of the properties (Item D). The existing buildings would be demolished, and a new 99,000 sq ft three story self-storage building would be constructed on the site; and

Whereas staff added that the petitioners had submitted proffered conditions in relation to items B and C. Proffer 1. The property will be

developed in substantial conformance with the conceptual site plan prepared by Balzer and Associates, Inc. entitled "Layman Candy Company" dated June 7, 2021, subject to any changes to access that may be required by the City of Salem and the Virginia Department of Transportation during the site plan review process. Proffer 2. The building will be developed in substantial conformance with the provided architectural perspective rendering indicated as Exhibit B and dated July 6, 2021; and

Whereas the updated elevation drawing was presented to the Commission; and

Whereas staff explained the procedure for the applicants to gain access onto Electric Road; and

Whereas, a full and lengthy discussion was held regarding the request for rezoning the property located at 1637 East Main Street (Tax Map #77-3-13) from LM Light Manufacturing with proffered conditions, to HBD Highway Business District without conditions, rezoning the property located at 23 Dalewood Avenue (Tax Map #77-3-12) from HBD Highway Business District with proffered conditions, to HBD Highway Business District without conditions, and the issuance of a Special Exception Permit to allow personal storage on the properties located at 1637 & 1641-1647 East Main Street, and 11, 15, & 23 Dalewood Avenue (Tax Map #s 77-3-13, 77-3-16, 77-3-15, 77-3-14, and 77-3-12).

Whereas staff noted the following: The plat and plan for the Calhoun Townhomes and the Village at North Mill Phase Four would appear on the agenda of a future meeting. Staff briefly described each proposal.

Whereas a discussion was held regarding the continuation of the formation of by-laws for the Commission; and

THEREUPON, the Commission took no action at this work session.

There being no further business to come before the Commission, the work session was adjourned at 6:54 p.m.

Chair

Executive Secretary

Planning Commission Meeting
MINUTES

Wednesday, July 14, 2021, 7:00 PM

Council Chambers, City Hall, 114 North Broad Street, Salem, Virginia

1. Call to Order

2. Pledge of Allegiance

3. Consent Agenda

A. **Minutes**

Consider acceptance of the minutes from the June 16, 2021, work session and regular meeting.

Reid Garst motioned Consider acceptance of the minutes from the June 16, 2021, work session and regular meetnig.. Jackson Beamer seconded the motion.

Ayes: Beamer, Conner, Daulton, Garst, King

4. New Business

A. **Amendment to the Zoning Ordinance**

Hold public hearing to consider the request of the Salem Historical Society, property owner, for rezoning the property located at 1936 West Main Street (Tax Map # 138-2-7) from CBD Community Business District with proffered conditions to CBD Community Business District without conditions.

Staff noted the following:

The subject property consists of a single parcel of approximately 9.4 acres, located along the south side of West Main Street, east of the intersection with Wildwood Road. It is occupied by a historically designated two-story home.

Previously, the owner of the property requested the zoning be changed to CBD with proffered conditions to allow a restaurant. They are now requesting those conditions be changed in order to allow more flexibility for the property, and to allow “Glow Healing Arts” as a tenant.

Lisa Bain, President of the Board for Salem Museum and Historical Society, appeared before the Commission; she stated that the Salem Museum and Historical

Society owns Preston Place that used to be the White Oak Tea Tavern, but due to the pandemic the business went out of business. The Historical Society has been working to get a new tenant for the property, and has a new tenant, Glow Healing Arts. The property currently isn't zoned for personal services, which is why the request to remove the conditions, which would allow personal services to be an acceptable tenant for the property.

Susan Menee, 2127 Laurel Woods Drive, Salem, past president of the Salem Museum and Historical Society, appeared before Commission and stated that they are excited and hopeful that the change can be made; and feel that Glow Healing will be a much more beautiful and appropriate and more gentler use of the space; it will also allow them to preserve the historical use of the property.

Jessee Cantelope, Meredith Novack's partner who is the current tenant of the property, who resides at 511 Tennessee Avenue, appeared before the Commission. He stated that Ms. Novack is a little under the weather and could not attend the meeting. He further stated that Glow Healing provides spa-type services--massage, reiki, chiropractic and need to make sure they have approval to operate that type of business there.

Vice Chair King questioned if only the first floor would be occupied, or would the second floor be occupied as well, and the office hours of the business.

Mr. Novack stated that the second floor would be occupied as well as the first floor. The office hours are standardly 9 a.m. to 5 p.m., but will sometimes vary depending on the practitioners. The chiropractor will be the only practitioner on the first floor, and the second floor will be the majority of the practitioners. He stated that community services are offered to art classes and groups, etc. The three rooms downstairs will be primarily gift and sales, and functions.

Member Beamer questioned if the hours were Monday through Friday, or weekends as well.

Mr. Novack stated that the hours are standardly Monday through Friday, but often things are done on the weekend. Weekends will vary depending on the event or sometimes practitioners' schedules. Often yoga and massage are done on weekends.

Member Garst questioned if there will be any outdoor use on the property.

Mr. Novack stated that some things will be done outside. They had a picnic recently and invited members of the Historical Society. No major functions will be done outside. Yoga practice might be done outside on the lawn or something similar.

Chair Daulton questioned the number of people who would be on the property at one time.

Mr. Novack stated that there typically isn't that many people present. If every practitioner had someone, there would possibly be 10 people; the nights with groups or yoga, there would be 10-15 people at the most.

No other person(s) appeared before the Commission.

Neil Conner motioned to recommend the request of the Salem Historical Society, property owner, for rezoning the property located at 1936 West Main Street (Tax Map #138-2-7) from CBD Community Business District with proffered conditions to CBD Community Business District without conditions.. Jackson Beamer seconded the motion.

Ayes: Beamer, Conner, Daulton, Garst, King

B. Amendment to the Zoning Ordinance

Hold public hearing to consider the request of Property Catalyst Group, Inc., applicant, and Layman Candy Company, Inc., property owner, for rezoning the property located at 1637 East Main Street (Tax Map #77-3-13) from LM Light Manufacturing with proffered conditions, to HBD Highway Business District without conditions.

It was noted that one public hearing will be held for Items 4B, 4C, and 4D.

Staff noted the following:

The subject property consists of five parcels totaling approximately two acres, located at the northeast corner of Electric Road and East Main Street. They are occupied by a large L-shaped warehouse, parking areas, two single family homes, and a two story commercial structure.

Tax Map 77-3-12 and 77-3-13 have the following conditions:

The following conditions voluntarily proffered shall apply in addition to the regulations contained in Chapter 32 of The Code of the city of Salem:

1. A fifty-foot setback will be observed from the centerline of Dalewood Avenue should the rental property be moved for future building expansion.
2. Proper screening will be provided on the north side of the property.

SUMMARY OF PROPOSED CHANGES;

The applicant is requesting the LM zoned property be rezoned to HBD without conditions

(Item B), that the HBD property with conditions have its conditions removed (Item C), and

that a Special Exception Permit be granted in order to allow the Personal Storage use on all

of the properties (Item D). The existing buildings would be demolished, and a new 99,000

sq ft three story self-storage building would be constructed on the site.

Note that though there is only one staff report, there are three separate requests which must be voted on.

Joseph Thompson, 26 Carriage Lane, Troutville, VA, appeared before the Commission and stated that the project has three items--the rezoning is to cleanup the overall corner and to have everything on the same page to move forward with the Special Exception Permit. He further stated that he has done three projects similar to this in the valley--off Plantation Road, a K-Mart conversion on Franklin Road, as well as, their first project which has been expanded once, located on Dale Avenue in Southeast Roanoke. The projects are extremely well done; the facades are similar to the facade that was presented with the rendering in the packet. High-quality materials are used like what is used for office buildings and apartment buildings that have been recently constructed. It is not the old metal buildings of the past. The project will change what is there today, which has gone way beyond its useful life, and take it to a more modern look. The corner has been a challenge corner and there is only so much intensity of traffic allowed. He is requesting that the conditions be removed as they aren't relevant; the manufacturing facility will be removed, which could be used for a much more intensive use than personal storage; the dilapidated commercial structures will be removed, as well as the billboard that sits atop of the distribution/manufacturing facility. He also stated that a buffer is currently non-existent to the residential area. He plans to place a new, modern evergreen Type B 15-foot buffer and have a drive aisle, and then have a building. The site will also have adequate landscaping as required in modern construction and will be a part of their marketing strategy.

A discussion was held regarding the type of storage facility--more like a room to store things in rather than a building; will have an elevator, security codes to access facility, security cameras, lighting inside 24/7 that is sensed throughout, but not 24/7 access. Individual as well as some smaller commercial (i.e. pharmaceutical representatives) are expected to use the facility.

Vice Chair King questioned if the canopy would be the only entrance to the building.

Mr. Thompson stated there would also be an office at the front corner with a separate entrance.

Member Beamer questioned what hours the facility would be open.

Mr. Thompson stated the hours would be 6:00 a.m. to 9:00 p.m. He noted that insurance is required for commercial-type people to use the facility, and typically 10-foot trucks and personal vehicles is what is used to bring the items to the facility. No food will be stored in the rooms.

A discussion was held regarding lighting on the grounds. The lighting pointed toward the residential area will be LED with shields.

A discussion was held regarding the buffer to be placed on the property to separate it from the residential area.

Member Garst questioned if all access points will have a gate.

Mr. Thompson stated that Access Points 1 and 3 will have a gate to separate them and there will be a no thru traffic sign placed on the property to help prevent a cut-thru from Dalewood Avenue to Electric Road.

Vice Chair King questioned if there would be an on-site manager on the property at all times.

Mr. Thompson stated that there would be an on-site manager at the facility during hours, and the facility will be heavily-cameraed for security purposes.

A discussion was held regarding the size of the rental space and number of units available for rent. There will be approximately 73,000 s.f. of rental space with approximately 600 units available to rent. There will be a manager and two part-time managers, plus maintenance will be shared among facilities. The units will range in size from 5'x5' to 10'x30'. The structure will be approximately 36' high.

Mr. Thompson stated that he is the contract purchaser of the property.

Member Conner questioned if the project will work if VDOT does not grant the ingress/egress from Electric Road.

Mr. Thompson stated that he feels there will be good success with the request based upon initial conversations, and the fact that the City of Salem owns and maintains

the right-of-way and has expressed its support. If VDOT says to do it differently, then he would have to go back to the drawing board.

A discussion was held regarding the access to the site from Electric Road.

Member Beamer noted that the alley would have to be vacated and questioned if it had to go through the viewer process.

The Director of Community Development confirmed that it would have to go through the process in order to be vacated.

No other person(s) appeared related to the item.

Mr. Tripp, City Planner, noted that the applicant has agreed to proffer the following conditions as they apply to the rezoning requests for Tax Map #s 77-3-13, 77-3-12, 77-3-14, 77-3-15, and 77-3-16: 1.) the property will be developed in substantial conformance with the conceptual site plan prepared by Balzer and Associates entitled, "Layman Candy Company" dated June 7, 2021, subject to any changes to access that may be required by the City of Salem and the Virginia Department of Transportation during the site plan review process; and 2.) the building will be developed in substantial conformance with the provided architectural perspective rendering indicated as Exhibit B dated July 6, 2021.

Reid Garst motioned to recommend the request of Property Catalyst Group, Inc., applicant, and Layman Candy Company, Inc., property owner, for rezoning the property located at 1637 East Main Street (Tax Map #77-3-13) from LM Light Manufacturing with proffered conditions, to HBD Highway Business District with conditions.. Neil Conner seconded the motion.

Ayes: Beamer, Conner, Daulton, Garst, King

C. Amendment to the Zoning Ordinance

Hold public hearing to consider the request of Property Catalyst Group, Inc., applicant, and Layman Candy Company, Inc., property owner, for rezoning the property located at 23 Dalewood Avenue (Tax Map #77-3-12) from HBD Highway Business District with proffered conditions, to HBD Highway Business District without conditions.

Reid Garst motioned to recommend the request of Property Catalyst Group, Inc., applicant, and Layman Candy Company, Inc., property owner, for rezoning the property located at 23 Dalewood Avenue (Tax Map #77-3-12) from HBD Highway Business District with proffered conditions, to HBD Highway Business District with conditions.. Neil Conner seconded the motion.

Ayes: Beamer, Conner, Daulton, Garst, King

D. Special Exception Permit

Hold public hearing to consider the request of Property Catalyst Group, Inc., applicant and Layman Candy Company, Inc. and George W. Givens Jr. & Susan K. Givens, property owners, for the issuance of a Special Exception Permit to allow personal storage on the properties located at 1637 & 1641-1647 East Main Street, and 11, 15, & 23 Dalewood Avenue (Tax Map #s 77-3-13, 77-3-16, 77-3-15, 77-3-14, and 77-3-12).

The conditions for the Special Exception Permit are as follows: 1.) contingent on the City vacating the right-of-way between Tax Parcel 77-3-12 and 77-3-14; 2.) contingent on the City and VDOT allowing access to the site from Electric Road north of East Main Street; 3.) the property will be developed in substantial conformance with the conceptual site plan prepared by Balzer and Associates entitled, "Layman Candy Company" dated June 7, 2021, subject to any changes to access that may be required by the City of Salem and the Virginia Department of Transportation during the site plan review process; 4.) the building will be developed in substantial conformance with the provided architectural perspective rendering indicated as Exhibit B dated July 6, 2021; and 5.) the Special Exception Permit is subject to revocation if the project does not have all permits within three (3) years.

Reid Garst motioned to recommend the request of Property Catalyst Group, Inc., applicant, and Layman Candy Company, Inc. and George W. Givens, Jr & Susan K. Givens, property owners, for the issuance of a Special Exception permit to allow personal storage on the properties located at 1637 & 1641-1647 East Main Street, and 11, 15, & 23 Dalewood Avenue (Tax Map #s 77-3-13, 77-3-16, 77-3-15, 77-3-14, and 77-3-12) with conditions.. Neil Conner seconded the motion.

Ayes: Beamer, Conner, Daulton, Garst, King

5. Adjournment

Neil Conner motioned Meeting adjourned at 7:41 p.m.. Jackson Beamer seconded the motion.

Ayes: Beamer, Conner, Daulton, Garst, King

Work Session, Wednesday, July 14, 2021, 6:00 p.m.
Council Chambers Conference Room, City Hall

City Council meeting, July 26, 2021, 6:30 p.m.
Council Chambers, City Hall, 114 North Broad Street

AT A REGULAR MEETING OF THE PLANNING COMMISSION OF THE CITY OF SALEM,
VIRGINIA HELD AT COUNCIL CHAMBERS, CITY HALL, 114 NORTH BROAD STREET,
SALEM, VIRGINIA

AGENDA ITEM:

Amendment to the Zoning Ordinance

Hold public hearing to consider the request of Layman Candy Company, Inc., contract purchasers, and Lewis-Gale Medical Center, LLC, property owner, for rezoning a portion of the property located at 2105 Apperson Drive (Tax Map # 281-1-2) from BCD Business Commerce District to LM Light Manufacturing District. Advertised in the July 29 and August 5, 2021 issues of the Salem Times-Register.

SUBMITTED BY:

Benjamin W. Tripp, AICP, CEcD, City Planner

SUMMARY OF INFORMATION:

Zoning: BCD Business Commerce District
Future Land Use Plan Designation: Commercial
Existing Use: Vacant, Storage and Warehousing
Proposed Use: Warehousing and Distribution

The subject property consists of a single parcel of approximately 9.4 acres, located along the north side of Apperson Drive, adjacent to the Eastern City Limits. It is occupied by a single large building that was part of the original shopping center, but which was most recently used as offices, a technical college, and as storage. This building is being subdividing off separately, so the request only applies to it.

SUMMARY OF PROPOSED CHANGES:

The owner of the property is requesting that the large building and its tract be rezoned to Light Manufacturing in order to allow the relocation and growth of their warehousing and distribution business. The applicant states that this new location will enable them to add product lines, increase sales significantly, and that they intend to add one hundred new employees in the next five years as they grow.

FISCAL IMPACT:

Allowing an existing business to expand and to hire a large number of employees will produce a positive fiscal impact.

STAFF RECOMMENDATION:

Staff recommends approval.

PETITION FOR ZONING AMENDMENT (REZONING)

City of Salem Community Development Department

Benjamin W. Tripp, AICP - City Planner

Email: bttripp@salemva.gov

Telephone: 540-375-3032

1. Applicant(s): Layman Candy Co, Inc.
P.O. Box 1015 Salem, VA 24153
2. Legal Owner(s) of property requested to be rezoned:
Lewis-Gale Medical Center, LLC c/o Real Estate Department
3. Location of Property:
Address: 2105 Apperson Drive Salem, VA 24153
Subdivision: Plat Book 8, Page 25, Slide 160
Official Tax Map Number: Portion of Tax Parcel: 281-1-2
4. Characteristics of Property:
Size (Acreage): 9.42 +/- Acres
Deed Restrictions: n/a
Present Use: Currently Vacant / Previous Business School
5. Zoning Classification:
Present Zoning: BCD - Business Commerce District
Proposed Zoning: LM - Light Manufacturing
Land Use Designation: Future Land Use Map Indicates as Commercial
6. Reason(s) for Rezoning Request (Including proposed use):
See Attached Narrative
7. Agent(s) or representative(s) of property owner(s): (Specify interest)
Balzer & Associates, Inc. c/o Ben Crew
Mailing Address: 1208 Corporate Circle Roanoke, VA 24018
Telephone Number: 540.772.9580
8. Affidavit:
 - A. The undersigned person certifies that this petition and the foregoing answers, statements, and other information herewith submitted are in all respects true and correct to the best of their knowledge and belief. Also, the petitioner understands that a "Notice of Zoning Request" sign will be posted on the property by the City.

Applicant Signature: [Signature] Date: 4/30/2021
Applicant Interest in Property: Contract Purchaser
Applicant Mailing Address: P.O. Box 1015 Salem, VA 24153
Applicant Phone Number: 540-389-2000
Owner Signature: [Signature] Date: 6/30/21
Owner Interest in Property: Nicholas L. Paul, Vice President of Lewis-Gale Medical Center, LLC
100% ownership interest
Owner Mailing Address: One Park Plaza, Nashville, TN 37203; Attn: Vice President, Real Estate
Owner Telephone Number: (615) 344-5962

July 1, 2021

Mr. Jay Taliaferro
City Manager - City of Salem
21 South Bruffey Street
Salem, VA 24153

**RE: 2105 Apperson Drive – Salem, VA 24153
Portion of Tax Parcel 281-1-2
Rezoning Request**

Dear Mr. Taliaferro,

Layman Candy Co. Inc. (Contract Purchaser/Applicant) “Layman” are providing official application, supporting documents, and associated fees required to request a Rezoning of a portion of tax parcel 281-1-2, from Business Commerce District (BCD) to Light Manufacturing District (LM). The proposed zoning will allow for Layman candy Company to relocate within the City of Salem to continue and expand business operations within a currently vacant and larger facility. This zoning request supports the growth objectives and business direction outlined below.

Business Update:

The purchase by Layman Candy Company, Inc (DBA Layman Distributing) of 2105 Apperson Drive; Salem, VA; 24153 (Site) and the subsequent rezoning to Light Manufacturing will have the following impacts on Layman Candy Company’s business:

- Growth Opportunity – Allow Layman Distributing to expand business through additional capacity for products carried, services provided, and the employees necessary to sustain business expansion. Our reported Sales for 2020 were \$289,000,000. With the additional capacity gained with this site, we foresee that we can grow our sales to at least \$500,000,000 in the next 5 years
- Service Area – Layman currently service Virginia, North Carolina, and West Virginia. Additional capacity at Site will allow Layman Distributing to begin servicing Tennessee, Kentucky, Washington, DC, Maryland, and South Carolina. All these new areas would be serviced out of Salem, VA Site with satellite operations added in outlying areas as needed
- Expansion through acquisition – Given the recent consolidation in the Convenience Store and Food Service Distribution industry, Layman has plans to purchase other distributors with owners who are eager and ready to sell their business to Layman. Layman has a proven track record growth via acquisition based on Layman’s recent purchases of the following Distributors:
 - Patrick Wholesale (Honaker, VA) – 2009
 - Sterling Grocery (Princeton, WV – 2018
 - Reidsville Grocery (Reidsville, NC) – 2019
- Other Growth opportunities
 - Food Service Distribution – Layman receives contact all the time to service more restaurants in the Roanoke Valley area and beyond, and this site’s additional capacity will allow us expand our refrigeration capabilities required to bring on additional Food Service Customers

- College and University Distribution – Layman recently have begun servicing several local colleges, and we see this as a profitable area of growth as these locations require a more diverse product mix that additional capacity will allow us to stock
- Job Creation – Layman currently employs 110 people of which 80 live in the Roanoke Valley and surrounding communities. We plan to hire an additional 100 employees in the next 5 years to support the company's growth
- Site Improvement – Layman's plans for this site include demolition of existing interior office space and conversion to warehousing operations.
- Investment – our plans include investing over 1M into the property that includes design services, demolition, tenant upfit, modern signage, IT infrastructure, and product warehouse improvements (Additional fixtures, refrigeration, racking, etc.)

Existing Conditions:

The overall tax map parcel includes multiple buildings with various users and uses. The portion being requested to be rezoned and indicated on the plat including a large existing building which will be renovated, large parking lot between the building and Apperson drive, and additional parking/service area on the northside of the existing building. This is the last parcel to the East prior to crossing the corporate limits into the City of Roanoke, VA. The property has frontage on the public right of way of Apperson Drive. Existing utility services are currently in place and they will be upgraded or modified as necessary to facilitate the new user.

Comprehensive Development Plan & Summary:

This project is in conformance with many of the Goals, Strategies, and Objectives as defined in the City of Salem's Comprehensive Plan. This proposed use revitalizes a previously vacant building and converts it to an active location for a business with a local proven track record. The future land use plan designates this parcel as commercial. The proposed zoning designation of LM is appropriate for this core building with the surrounding properties being zoned Highway Business District (HBD) and Heavy Manufacturing District (HM).

Sincerely,

A handwritten signature in black ink, appearing to read 'BTC' with a stylized flourish.

Benjamin T. Crew
Associate

18209rp01-sheet 1.plt

e:\drawings\18209rp01.dwg

KNOW ALL MEN BY THESE PRESENTS, TO WIT:

THAT LEWIS-GALE MEDICAL CENTER, LLC IS THE FEE SIMPLE OWNER AND PROPRIETOR OF THE LAND SHOWN HEREON TO BE RE-SUBDIVIDED, BOUNDED BY OUTSIDE CORNERS 1 THROUGH 18 TO 1, INCLUSIVE, WHICH COMPRISES _____ OF THE LAND CONVEYED TO SAID OWNER BY DEED RECORDED IN RECORDED IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF THE CITY OF SALEM, VIRGINIA IN INSTRUMENT #180001003.

THE SAID OWNERS CERTIFY THAT THEY HAVE RE-SUBDIVIDED THIS LAND, AS SHOWN HEREON, ENTIRELY WITH THEIR OWN FREE WILL AND CONSENT AND PURSUANT TO AND IN COMPLIANCE WITH THE VIRGINIA CODE OF 1950, AS REQUIRED BY SECTIONS 15.2-2240 THROUGH 15.2-2279, AS AMENDED TO DATE AND AS REQUIRED BY THE CITY OF SALEM, VIRGINIA SUBDIVISION ORDINANCE AS AMENDED TO DATE..

WITNESS THE FOLLOWING SIGNATURES AND SEALS ON THIS ____ DAY OF _____, 2021.

OWNER: LEWIS-GALE MEDICAL CENTER, LLC

BY: _____ ITS _____

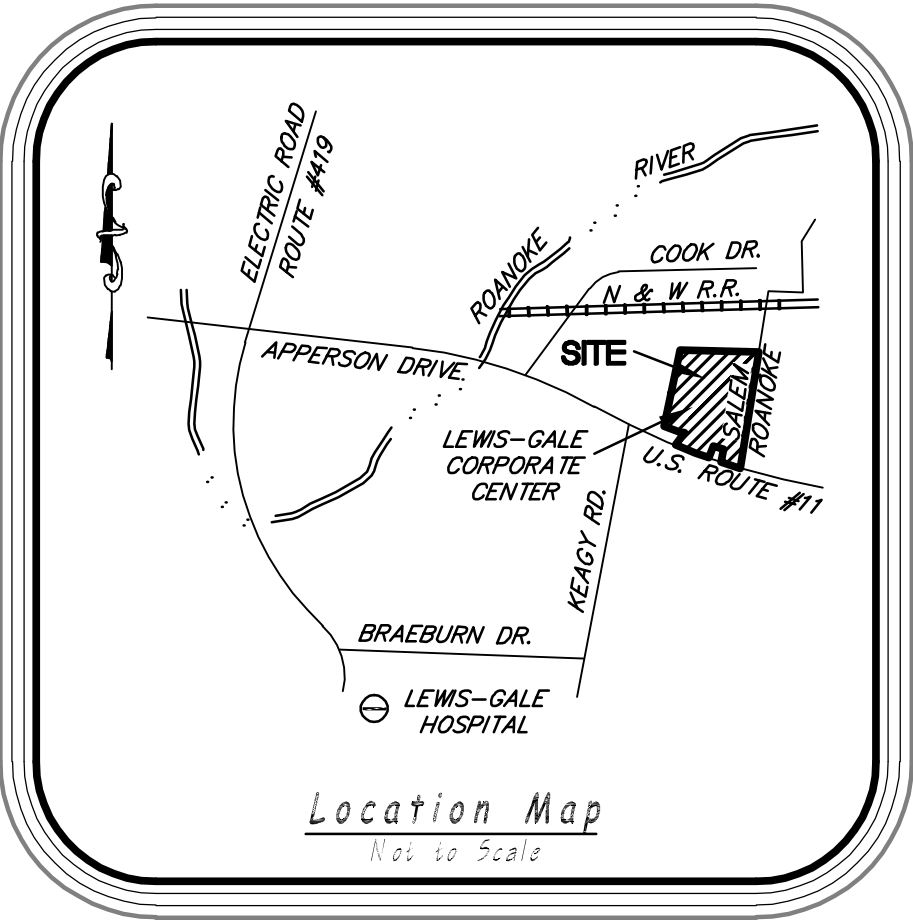
(PRINTED NAME)

STATE OF _____

I, _____, A NOTARY PUBLIC IN AND FOR THE AFORESAID _____ AND STATE DO HEREBY CERTIFY THAT _____ FOR LEWIS-GALE MEDICAL CENTER, LLC, OWNER WHOSE NAME IS SIGNED TO THE FOREGOING WRITING HAVE PERSONALLY APPEARED BEFORE ME IN MY AFORESAID _____ AND STATE AND ACKNOWLEDGED THE SAME ON _____, 2021.

MY COMMISSION EXPIRES ON _____ REG. # _____

NOTARY PUBLIC



| BOUNDARY COORDINATES | | |
|---------------------------------------|------------|------------|
| ORIGIN OF COORDINATES IS ASSUMED | | |
| CORNER | NORTHING | EASTING |
| 1 | 4076.34222 | 4867.31025 |
| 2 | 4083.71719 | 4847.85178 |
| 3 | 4113.65424 | 4772.38911 |
| 4 | 4164.38016 | 4628.29617 |
| 5 | 4307.72369 | 4648.78207 |
| 6 | 4328.94527 | 4500.29084 |
| 7 | 4203.29669 | 4482.33381 |
| 8 | 4208.88657 | 4456.74815 |
| 9 | 4212.29704 | 4457.53474 |
| 10 | 4251.52608 | 4162.24915 |
| 11 | 4252.60383 | 4140.83169 |
| 12 | 4282.08106 | 4142.15263 |
| 13 | 4283.69228 | 4093.93571 |
| 14 | 4370.23008 | 4103.49340 |
| 15 | 4373.80890 | 3985.45764 |
| 16 | 4441.71988 | 3833.99550 |
| 17 | 5122.98470 | 4139.45374 |
| 18 | 5000.00000 | 5000.00000 |
| 1 | 4076.34222 | 4867.31025 |
| TRACT A = 18.5595 AC.. (808,453 S.F.) | | |

| NEW DIVISION LINE | | |
|----------------------|------------|------------|
| BOUNDARY COORDINATES | | |
| CORNER | NORTHING | EASTING |
| A | 4305.77032 | 4143.21420 |
| B | 4550.22738 | 4178.16551 |
| C | 4516.25875 | 4415.74946 |
| D | 4228.89817 | 4374.66400 |
| E | 4611.36817 | 3910.06059 |
| F | 4512.63439 | 4130.36354 |
| G | 4414.78757 | 4116.37386 |
| H | 4940.33978 | 4057.56136 |
| I | 4921.53210 | 4188.19637 |
| J | 4774.63269 | 4167.04708 |
| K | 4734.88083 | 4205.71279 |
| L | 4521.70274 | 4110.13028 |

| BOUNDARY LINE TABLE | | |
|---------------------|---------------|----------|
| LINE | BEARING | DISTANCE |
| *1-2 | N 69°14'34" W | 20.81' |
| 2-3 | N 68°21'40" W | 81.18' |
| *3-4 | N 70°36'22" W | 152.76' |
| 4-5 | N 08°08'00" E | 144.80' |
| 5-6 | N 81°52'00" W | 150.00' |
| 6-7 | S 08°08'00" W | 126.93' |
| *7-8 | N 77°40'33" W | 26.19' |
| 8-9 | N 12°59'15" E | 3.50' |
| *9-10 | N 82°25'57" W | 297.88' |
| *10-11 | N 87°07'09" W | 21.44' |
| 11-12 | N 02°33'57" E | 29.51' |
| 12-13 | N 88°05'10" W | 48.24' |
| 13-14 | N 06°18'09" E | 87.06' |
| 14-15 | N 88°15'48" W | 118.09' |
| 15-16 | N 65°51'00" W | 165.99' |
| 16-17 | N 24°09'00" E | 746.61' |
| 17-18 | S 81°52'00" E | 869.29' |
| 18-1 | S 08°10'30" W | 933.14' |
| 12-A | N 02°33'57" E | 23.71' |
| A-B | N 08°08'12" E | 246.94' |
| B-C | S 81°51'48" E | 240.00' |
| C-D | S 08°08'12" W | 290.28' |
| *9-D | N 78°40'20" W | 84.52' |
| *D-10 | N 83°55'10" W | 213.62' |
| E-F | S 65°51'34" E | 241.42' |
| F-G | S 08°08'12" W | 98.84' |
| G-14 | S 16°07'24" W | 46.38' |
| H-I | S 81°48'26" E | 131.98' |
| I-J | S 08°11'34" W | 148.41' |
| J-K | S 44°12'23" E | 55.46' |
| K-L | S 24°09'00" W | 233.63' |
| L-F | S 65°51'31" E | 22.17' |

APPROVED:

CHARLES E. VAN ALLMAN, Jr., P.E., L.S.
CITY ENGINEER, CITY OF SALEM

DATE

JAMES E TALIAFERRO, II, P.E., L.S.
EXECUTIVE SECRETARY, CITY OF SALEM
PLANNING COMMISSION

DATE

CLERK'S CERTIFICATE:

IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF THE CITY OF SALEM, VIRGINIA, THIS PLAT WITH THE CERTIFICATE OF ACKNOWLEDGMENT THERETO ANNEXED IS ADMITTED TO RECORD ON _____, 2021, AT _____ O'CLOCK ____M.

TESTE: GARY CHANCE CRAWFORD - CLERK

DEPUTY CLERK

PLAT SHOWING THE SUBDIVISION OF A
TAX #281-1-2

TRACT "A"

18.5595 AC.

PLAT BOOK 8, PAGE 25, SLIDE 160

PROPERTY OF

LEWIS-GALE MEDICAL CENTER, LLC

CREATING HEREON NEW

LOT 1 - 1.6089 AC.,

LOT 2 - 1.0709 AC.,

LOT 3 - 1.6965 AC.,

LOT 4 - 4.7548 AC. &

REMAINING PORTION OF TRACT "A"

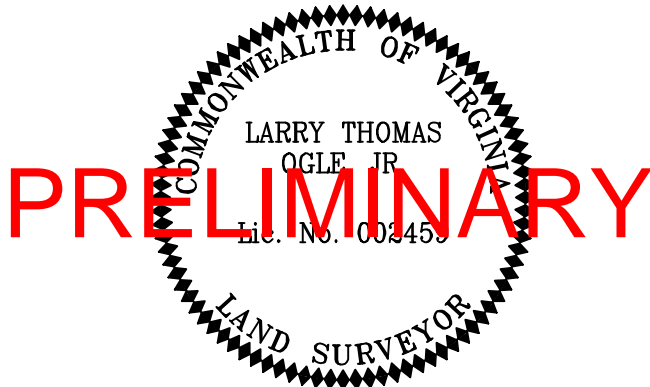
9.4285 AC.

SITUATED AT #2105 APPERSON DRIVE

CITY OF SALEM, VIRGINIA

I HEREBY CERTIFY THAT THIS PLAT IS FROM A CURRENT FIELD SURVEY
AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

LARRY THOMAS OGLE, Jr.
LS #2459



NOTES:

- THIS PLAT IS BASED ON A CURRENT FIELD SURVEY.
- PROPERTY CORNERS WERE SET AT ALL NEW CORNERS A THROUGH L.
- THIS PLAT WAS PREPARED WITH THE BENEFIT OF A CURRENT TITLE REPORT PREPARED BY TITLE SEARCH SERVICES, LLC. #PT20120198, CERTIFIED THROUGH APRIL 5, 2012 & JULY 16, 2012.
- NOT ALL PHYSICAL IMPROVEMENTS ARE SHOWN HEREON FOR CLARITY.
- THIS PROPERTY DOES LIE WITHIN THE LIMITS OF A SPECIAL FLOOD HAZARD AREA AS DESIGNATED BY F.E.M.A. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAPS AND HAS BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS. SEE MAP NUMBER 51161C0144G, DATED SEPTEMBER 28, 2007. ZONE X (UNSHADED).
- LEGAL REFERENCE: TAX #281-1-2 TRACT "A" - PLAT BOOK 8, PAGE 25, SLIDE 160.
CURRENT OWNER: LEWIS-GALE MEDICAL CENTER, LLC. - INSTRUMENT #180001003.
- LINES FROM CORNERS 12 TO A THROUGH D, E THROUGH G TO 14 AND H THROUGH L ARE NEW DIVISION LINES.
- THE RECORDATION OF THIS PLAT OF SUBDIVISION DOES NOT CONSTITUTE A CONVEYANCE OF LAND. ANY LOT, PARCEL OR TRACT OF LAND SHOWN HEREON MUST BE CONVEYED BY DEED AND SAID DEED MUST BE RECORDED IN THE OFFICE OF THE CLERK OF CIRCUIT COURT OF THE CITY OF SALEM.
- THE SUBJECT PROPERTY IS ZONE (BCD) AT THE TIME OF THIS SURVEY.

PHONE: (540) 774-4411
FAX: (540) 772-9445
WWW.LUMSDENPC.COM

4664 BRAMBLETON AVENUE, SW
P.O. BOX 20669
ROANOKE, VIRGINIA 24018

Lumsden Associates, P.C.
ENGINEERS | SURVEYORS | PLANNERS



DATE: March 17, 2021
COMM. NO.: 2018-209
SCALE: None

SHEET 1 OF 2

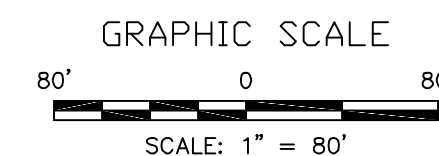
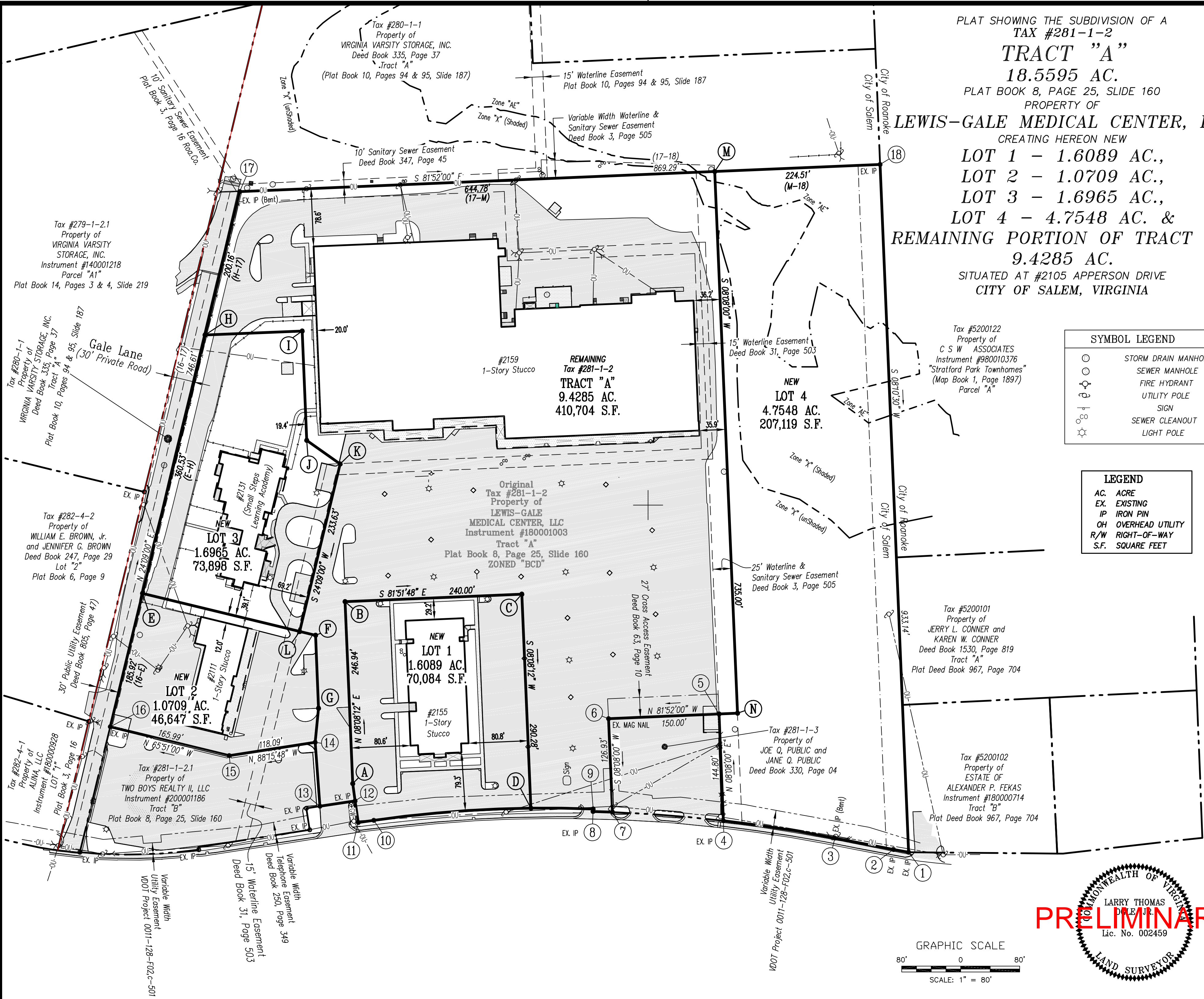
PLAT SHOWING THE SUBDIVISION OF A
TAX #281-1-2
TRACT "A"
18.5595 AC.
PLAT BOOK 8, PAGE 25, SLIDE 160
PROPERTY OF

LEWIS-GALE MEDICAL CENTER, LLC
CREATING HEREON NEW
LOT 1 - 1.6089 AC.,
LOT 2 - 1.0709 AC.,
LOT 3 - 1.6965 AC.,
LOT 4 - 4.7548 AC. &
REMAINING PORTION OF TRACT "A"
9.4285 AC.

SITUATED AT #2105 APPERSON DRIVE
CITY OF SALEM, VIRGINIA

| SYMBOL LEGEND | |
|---------------|---------------------|
| | STORM DRAIN MANHOLE |
| | SEWER MANHOLE |
| | FIRE HYDRANT |
| | UTILITY POLE |
| | SIGN |
| | SEWER CLEANOUT |
| | LIGHT POLE |

| LEGEND | |
|--------|------------------|
| AC. | ACRE |
| EX. | EXISTING |
| IP | IRON PIN |
| OH | OVERHEAD UTILITY |
| R/W | RIGHT-OF-WAY |
| S.F. | SQUARE FEET |



PHONE: (540) 774-4411
FAX: (540) 772-9445
WWW.LUMSDENPC.COM

4664 BRAMBLETON AVENUE, SW
P.O. BOX 20669
ROANOKE, VIRGINIA 24018

Lumsden Associates, P.C.
ENGINEERS | SURVEYORS | PLANNERS



| | |
|------------|----------------|
| DATE: | March 17, 2021 |
| COMM. NO.: | 2018-209 |
| SCALE: | 1" = 80' |

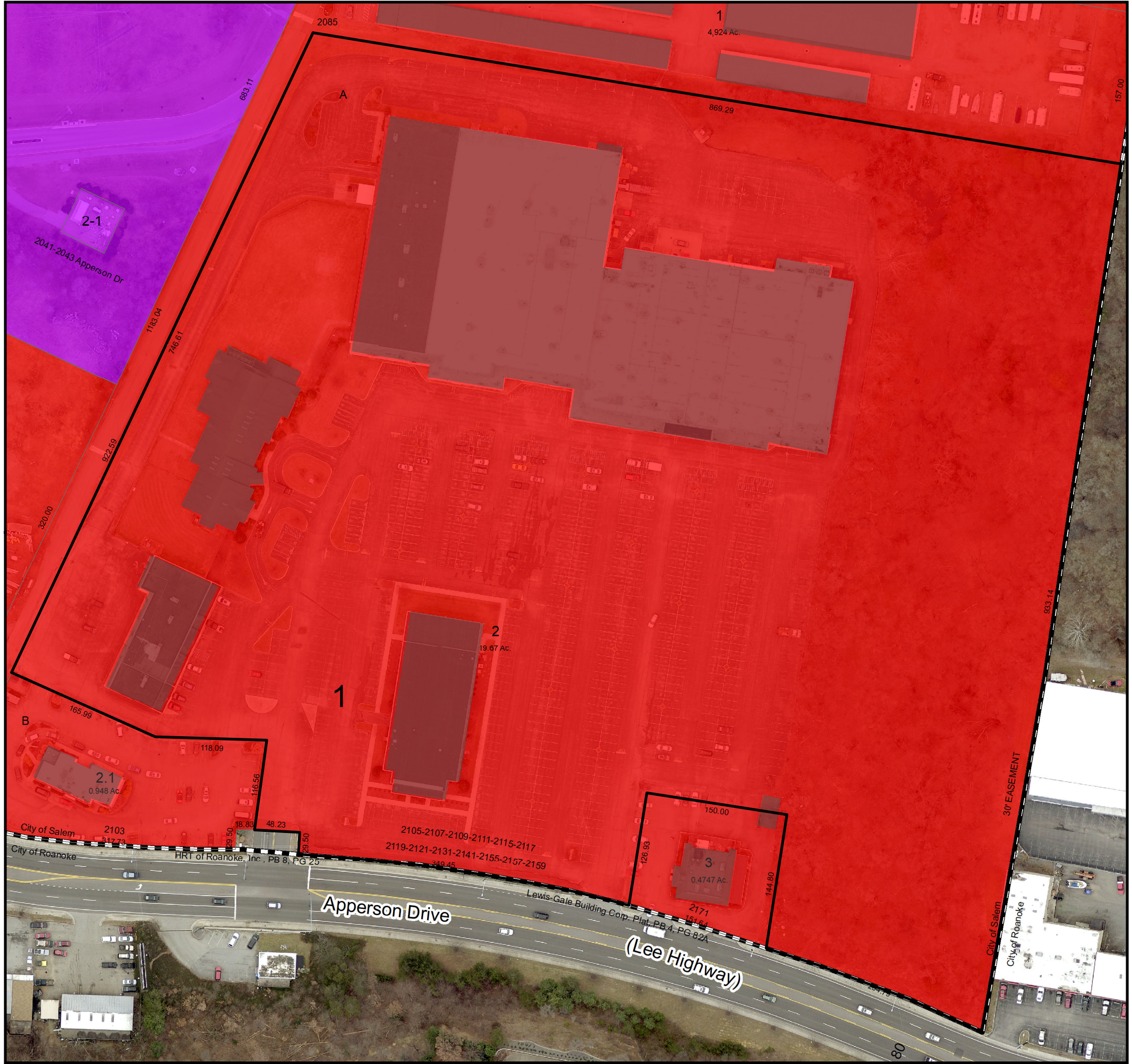
EXISTING ZONING



□ Tax Parcel 281-1-2 ■ Buildings □ Parcels □ City Limits

- | | |
|--|---|
| AG - Agriculture District | PUD - Planned Unit District |
| BCD - Business Commerce District | RB - Residential Business District |
| CBD - Community Business District | RMF - Residential Multi-Family District |
| CUD - College/University District | RMF/RB - Residential Multi-Family/Residential Business District |
| DBD - Downtown Business District | RSF - Residential Single Family District |
| HBD - Highway Business District | RSF/HBD - Residential Single/Highway Business District |
| HBD/HM - Highway Business/Heavy Manufacturing District | RSF/LM - Residential Single Family/Light Manufacturing |
| HBD/LM - Highway Business/Light Manufacturing District | RSF/RB - Residential Single Family/Residential Business District |
| HM - Heavy Manufacturing District | RSF/RMF - Residential Single Family/Residential Multi-Family District |
| LM - Light Manufacturing District | RSF/TBD - Residential Single Family/Transitional Business District |
| LM/HM - Light Manufacturing/Heavy Manufacturing District | TBD - Transitional Business District |
| MHP - Manufactured Home Park District | |

FUTURE LAND USE



□ Tax Parcel 281-1-2 ■ Buildings □ Parcels □ City Limits

- | | |
|---------------------------|-------------------------------|
| Commercial | Mixed Use |
| Downtown | Public Parks and Recreational |
| Economic Development Area | Residential |
| Industrial | Transitional |
| Institutional | |

**AFFADAVIT OF MAILING PURSUANT TO S15.2-2204
CODE OF VIRGINIA**

**PLANNING COMMISSION
AUGUST 11, 2021**

ITEM #

This is to certify that I mailed letters in reference to the rezoning request of Layman Candy Company, Inc., contract purchaser, and Lewis-Gale Medical Center, LLC, property owner, for rezoning a portion of the property located at 2105 Apperson Dr (Tax Map # 281-1-22) from BCD Business Commerce District to LM Light Manufacturing District, to the following property owners and adjacent property owners on July 27, 2021, in the 2:00 p.m. mail:

LEWIS GALE MEDICAL CENTER LLC
ATTN REAL ESTATE DEPT
ONE PARK PLAZA
NASHVILLE TN 37203

CAO MING HUA
REN HAI QING
3109 BRAMBLETON AVE SUITE C
ROANOKE VA 24018

VIRGINIA VARSITY STORAGE
APPERSON LLC
2087 APPERSON DR
SALEM VA 24153

WILLIAM E BROWN JR
JENNIFER G BROWN
3767 HARBORWOOD RD
SALEM VA 24153

ALINA LLC
217 HURST AVE NE
ROANOKE VA 24012

TWO BOYS REALTY II LLC
6010 CELL TOWER DR
ROANOKE VA 24012

DONALD W BANDY
P O BOX 4143
ROANOKE VA 24015

PAUL M HODGES
4330 BRANDON AVE SW
ROANOKE VA 24018

BOB IT ENTERPRISES LLC
4324 BRANDON AVE SW
ROANOKE VA 24015

COMMONWEALTH OF VIRGINIA
215 CHURCH AVE SW RM 250
ROANOKE VA 24011

NEAL C WALL
4016 LAKE DR SW
ROANOKE VA 24018

W BANE ATKINSON
SUE B ATKINSON
1301 BELLE AIRE LN SW
ROANOKE VA 24018

WILLIAM G TURNER III
LINDA K TURNER
1302 BELLE AIRE LN SW
ROANOKE VA 24018

JUNIUS E CROWGEY
MARY BETH CROWGEY
3814 BELLE AIRE CIR SW
ROANOKE VA 24018

JERRY L CONNER
KAREN W CONNER
426 N MARKET ST
SALEM VA 24153

ESTATE OF ALEXANDER FEKAS
218 EMERALD LAKE DR
TROUTVILLE VA 24175

ANAMA ENTERPRISES LLC
4119 BRANDON AVE SW
ROANOKE VA 24018

CSW ASSOCIATES
3807 BRANDON AVE SW 245
ROANOKE VA 24018

CITY OF ROANOKE
BLDG PLANNING & DEVELOPMENT
215 CHURCH AVE #166
ROANOKE VA 24011

AEP-1 RIVERSIDE PLAZA
C/O JENNIFER NICOL
P O BOX 16428
COLUMBUS OH 43216-6428

LAYMAN CANDY COMPANY II
P O BOX 1015
SALEM VA 24153

Signed Goretta Prillaman Date 7/27/2021

City of Salem
Commonwealth of Virginia

The foregoing instrument was acknowledged before me this 27th day of July, 2021, by

Goretta L. Prillaman
Krystal M. Graves
Notary Public
My commission expires: March 31, 2023





**IMPORTANT NOTICE OF PUBLIC HEARINGS
PROPOSAL TO CHANGE ZONING**

Notice is hereby given that a request has been filed with the City of Salem by the property owner/petitioner of the property described below. The Planning Commission of the City of Salem will consider this request at its meeting listed below and make a recommendation to the City Council. The City Council of the City of Salem will also consider this request, and the recommendation of the Planning Commission at its meeting listed below. City Council will make the final decision in this matter.

Property Owner/Petitioner:

Layman Candy Company, Inc., contract purchaser, and Lewis-Gale Medical Center, LLC, property owner

Location of Property:

2105 Apperson Drive (Tax Map # 281-1-2)

Purpose of Request:

To rezone from BCD Business Commerce District to LM Light Manufacturing District on a portion of the property located at 2105 Apperson Drive, (Tax Map # 281-1-2).

The date, time, and place of the public hearing scheduled by the Planning Commission on this request are as follows:

**WEDNESDAY, AUGUST 11, 2021 – 7 P.M.
COUNCIL CHAMBERS, FIRST FLOOR, SALEM CITY HALL
114 NORTH BROAD STREET, SALEM, VIRGINIA**

The date, time, and place of the public hearing scheduled by City Council on this request are as follows:

**MONDAY, AUGUST 23, 2021 – 6:30 P.M.
COUNCIL CHAMBERS, FIRST FLOOR, SALEM CITY HALL
114 NORTH BROAD STREET, SALEM, VIRGINIA**

Additional information on this request may be obtained in the Community Development Department, 21 South Bruffey Street, Salem, Virginia or at (540) 375-3032.

James E. Taliaferro, II
Executive Secretary
Planning Commission

AT A REGULAR MEETING OF THE PLANNING COMMISSION OF THE CITY OF SALEM,
VIRGINIA HELD AT COUNCIL CHAMBERS, CITY HALL, 114 NORTH BROAD STREET,
SALEM, VIRGINIA

AGENDA ITEM:

Amendment to the Zoning Ordinance

Hold public hearing to consider the request of Roanoke College Trustees, property owner, for rezoning a portion of the property located at 232 North Broad Street (Tax Map # 87-7-7), from CUD College and University District to RSF Residential Single-Family District. Advertised in the July 29 and August 5, 2021 issues of the Salem Times-Register.

SUBMITTED BY:

Benjamin W. Tripp, AICP, CEcD, City Planner

SUMMARY OF INFORMATION:

Zoning: CUD College and University District
Future Land Use Plan Designation: Residential
Existing Use: Vacant, Educational Facilities, College/University
Proposed Use: Single Family Dwelling, Detached

The subject property consists of a single parcel of approximately one acre, located along the east side of North Broad Street, across the street from Shipman Alley. The use of the property divides roughly in half: It is occupied by a parking facility, accessed from Red Lane, on the eastern half, but is vacant on the half fronting on Broad Street.

SUMMARY OF PROPOSED CHANGES:

The applicant is proposing to subdivide off about 1/3rd of the property along North Broad Street, and is requesting that this portion be rezoned to Residential Single Family in order to allow the construction of a new single family residence.

STAFF RECOMMENDATION:

Staff recommends approval.

PETITION FOR ZONING AMENDMENT (REZONING)

City of Salem Community Development Department

Benjamin W. Tripp, AICP - City Planner

Email: btripp@salemva.gov

Telephone: 540-375-3032

1. Applicant(s):

Roanoke College Trustees c/o David Mowen

2. Legal Owner(s) of property requested to be rezoned:

Roanoke College Trustees c/o VP-Business Affairs

3. Location of Property:

Address: 232 N Broad St

Subdivision: Roanoke College

Official Tax Map Number: Portion of 87-7-7

4. Characteristics of Property:

Size (Acreage): 0.355 AC.

Deed Restrictions: None

Present Use: Vacant

5. Zoning Classification:

Present Zoning: CUD - College/University District

Proposed Zoning: RSF - Residential Single Family District

Land Use Designation:

6. Reason(s) for Rezoning Request (Including proposed use):

See Narrative

7. Agent(s) or representative(s) of property owner(s): (Specify interest)

Balzer & Associates, Inc. c/o Ben Crew (Consultant)

Mailing Address: 1208 Corporate Circle Roanoke, VA 24018

Telephone Number: (540) 772-9580

8. Affidavit:

- A. The undersigned person certifies that this petition and the foregoing answers, statements, and other information herewith submitted are in all respects true and correct to the best of their knowledge and belief. Also, the petitioner understands that a "Notice of Zoning Request" sign will be posted on the property by the City.

Applicant Signature: 

Date: 6-25-21

Applicant Interest in Property: David B. Mowen, VP of Bus Affairs & Treasurer

Applicant Mailing Address:

Applicant Phone Number: 540-375-2265

Owner Signature: 

Date: 6-25-21

Owner Interest in Property: David B. Mowen, VP of Bus Affairs & Treasurer

Owner Mailing Address: 221 College Ln, Salem, VA 24153

Owner Telephone Number: 540-375-2265

July 1, 2021

Mr. Jay Taliaferro
City Manager - City of Salem
21 South Bruffey Street
Salem, VA 24153

RE: 232 N Broad St – Salem, VA 24153
Balzer and Associates, Inc. Job # 04210036.00
Rezoning Request

Dear Mr. Taliaferro,

Roanoke College Trustees (Property Owner) are providing official application, supporting documents, and associated fees required to request a Rezoning of a portion of tax parcel 87-7-7, from CUD-College/University District to RSF-Residential Single Family District. The proposed zoning will allow for a residential use on a portion of the existing parcel while the remainder of the property can continue to provide residential parking for Roanoke College.

Project Narrative & Existing Conditions:

A portion of the existing parcel is currently being used to provide residential parking for Roanoke College, while the remainder of the parcel is vacant. The RSF zoning will allow for the development of a single family residence along North Broad Street, while maintaining the parking required by Roanoke College. See attached North Broad Street “Resubdivision Plat for Roanoke College - Zoning Exhibit” dated 6/7/2021 for additional details. The existing parcel is approximately 1.006 acres and is bounded by the public rights-of-way of North Broad Street to the West and Red Lane to the East, and by RSF zoned property to the North and South. The parcel generally drains from West to East towards Red Lane. The property has frontage on two public roads, North Broad Street and Red Lane.

Buffers

An existing row of evergreen trees will provide an existing/natural buffer between the proposed RSF parcel and the portion of the existing parcel to remain CUD.

Comprehensive Development Plan & Summary:

This project is in conformance with many of the Goals and Objectives defined in the City of Salem’s Comprehensive Plan. This project is sensitive to the existing surrounding properties by maintaining existing buffering, while utilizing a vacant property for an appropriate use to match surrounding land uses. This project provides an excellent opportunity to the City of Salem to gain additional residential property in a location of high demand, while supporting Roanoke College and helping to promote low density residential development along North Broad Street.

Sincerely,

A stylized handwritten signature in black ink, appearing to read 'BTC'.

Benjamin T. Crew
Associate

NOTES:

1. OWNERS OF RECORD: ROANOKE COLLEGE
C/O VP OF BUSINESS AFFAIRS

2. LEGAL REFERENCE: INST.#041111075
(SEE NOTE #8 IN REGARDS TO VACATED SHIPMAN ALLEY)

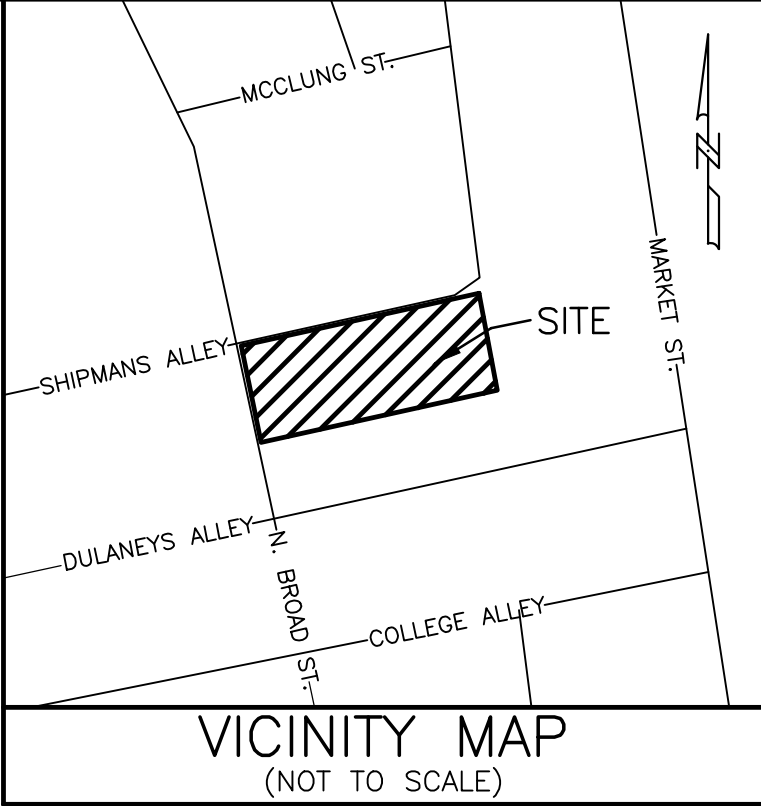
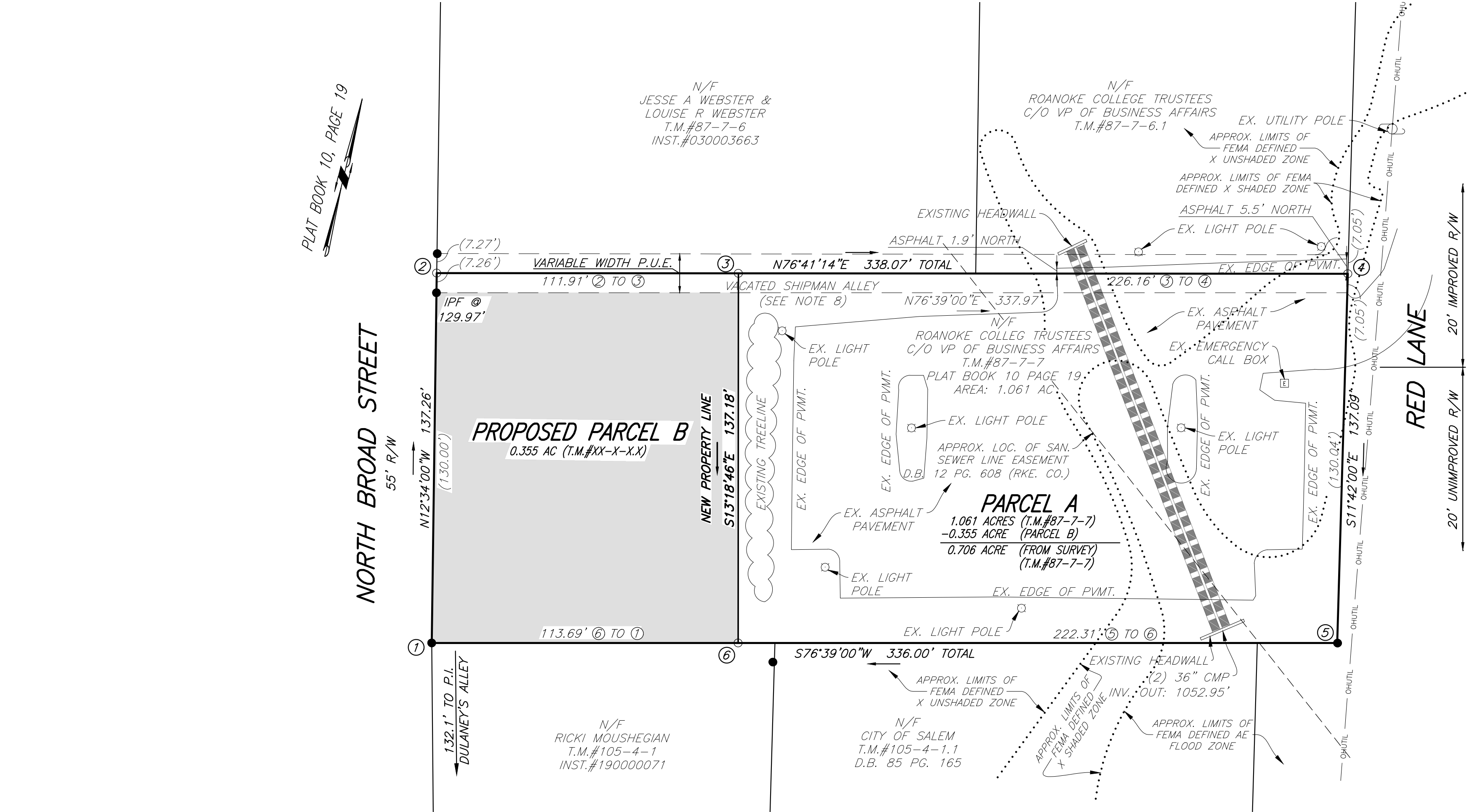
3. PROPERTY IS CURRENTLY ZONED CUD

4. THE CURRENT TAX MAP NUMBER: 87-7-7

5. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A
CURRENT TITLE REPORT AND THERE MAY EXIST ENCUM-
BRANCES WHICH AFFECT THE PROPERTY NOT SHOWN
HEREON.
6. PROPERTY IS IN F.E.M.A. DEFINED ZONE X UNSHADED, X SHADED, & AE
SEE FEMA MAP #51161C0141G
(REVISED DATE: SEPTEMBER 28, 2007)

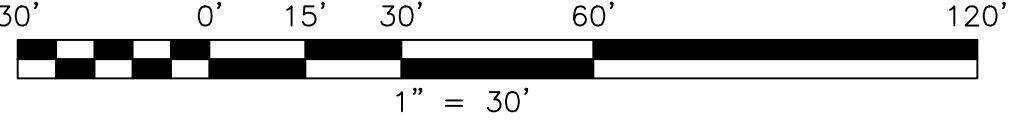
7. PROPERTY MAY CONTAIN UNDERGROUND UTILITY SERVICE LINES.

8. MAYOR TARPLEY REPORTED THAT COUNCIL AT ITS REGULAR MEETING HELD ON
AUGUST 22, 2005, PASSED AN ORDINANCE ON FIRST READING PERMANENTLY
VACATING SHIPMAN ALLEY BETWEEN NORTH BROAD STREET AND RED LANE IN
THE CITY OF SALEM, VIRGINIA, FOR THE TRUSTEES OF ROANOKE COLLEGE.
(SEE CITY OF SALEM RESOLUTION #1062)



| LEGEND | | |
|--------|----------------------|--|
| ● | IRON PIN FOUND | |
| ○ | DEEDED CORNER | |
| P.U.E. | PUBLIC UTILITY ESMT. | |

| COORDINATE LIST(ASSUMED) | | |
|--------------------------|-----------|-----------|
| CORNER | NORTHING | EASTING |
| 1 | 19873.117 | 10028.287 |
| 2 | 20007.091 | 9998.422 |
| 3 | 20032.860 | 10107.322 |
| 4 | 20084.938 | 10327.408 |
| 5 | 19950.699 | 10355.208 |
| 6 | 19899.369 | 10138.909 |



ZONING EXHIBIT PLAN
ROANOKE COLLEGE

BEING THE RESUBDIVISION OF
TAX MAP #87-7-7
AS SHOWN IN
PLAT BOOK 10 PAGE 19
IN ADDITION TO
1/2 VACATED SHIPMAN ALLEY (SEE NOTE 8)
CREATING HEREON
PARCEL A (0.706 AC) &
PARCEL B (0.355 AC)
232 N. BROAD STREET
CITY OF SALEM, VIRGINIA
SURVEYED 06-07-2021
JOB #04210036.00
SCALE: 1" = 30'
SHEET 1 OF 1

PLANNERS / ARCHITECTS / ENGINEERS / SURVEYORS
ROANOKE / RICHMOND / NEW RIVER VALLEY / STAUNTON / HARRISONBURG / LYNCHBURG
1208 Corporate Circle / Roanoke, Virginia 24018 / Phone (540) 772-9580 / www.balzer.cc



DRAWN BY: BTC

LEGAL DESCRIPTION
PROPOSED PARCEL B
NORTH BROAD STREET

BEGINNING AT A POINT ON THE EAST LINE OF NORTH BROAD STREET,
SAID POINT LYING 132'± NORTH OF THE NORTH LINE OF DULANEY'S ALLEY;
THENCE ALONG THE EAST LINE OF NORTH BROAD STREET N 12°34'00" W THROUGH AN IRON
PIN FOUND AT 129.97', A TOTAL DISTANCE OF 137.26' TO A POINT IN THE CENTER OF VACATED
SHIPMAN ALLEY;
THENCE LEAVING THE EAST LINE OF NORTH BROAD STREET N 76°41'14" E A DISTANCE OF
111.91' TO A POINT;
THENCE WITH A NEW LINE S 13°18'46" E A DISTANCE OF 137.18' TO A POINT;
THENCE S 76°39'00" W A DISTANCE OF 113.69' TO A POINT ON THE EAST LINE OF NORTH
BROAD STREET;
WHICH IS THE POINT OF BEGINNING,
HAVING AN AREA OF 15,478 SQUARE FEET, 0.355 ACRES AND BEING IN THE CITY OF SALEM,
VIRGINIA.

**AFFADAVIT OF MAILING PURSUANT TO S15.2-2204
CODE OF VIRGINIA**

**PLANNING COMMISSION
AUGUST 11, 2021**

ITEM #

This is to certify that I mailed letters in reference to the rezoning request of Roanoke College Trustees, property owner, for rezoning a portion of the property located at 232 North Broad Street (Tax Map # 87-7-7) from CUD College and University District to RSF Residential SingleFamily District, to the following property owners and adjacent property owners on July 27, 2021, in the 2:00 p.m. mail:

ROANOKE COLLEGE TRUSTEES
221 COLLEGE LN
SALEM VA 24153

CITY OF SALEM
ATTN: JAY TALIAFERRO
P O BOX 869
SALEM VA 24153

JESSE A WEBSTER
LOUISE R WEBSTER
306 N BROAD ST
SALEM VA 24153

RICKI MOUSHEGIAN
220 N BROAD STREET
SALEM VA 24153

CHRISTOPHER T VANDEGRIFT
LINDSAY E VANDEGRIFT
301 N BROAD ST
SALEM VA 24153

SCOTT WILLIAM WISE
MARGARET DAVIES WISE
233 N BROAD ST
SALEM VA 24153

PAUL C KUHNEL
RUTH ELLEN KUHNEL
223 N BROAD STREET
SALEM VA 24153

ALL ABOUT THE RARI LLC
2760 GLENEAGLES RD
SALEM VA 24153

Signed

Krista M. Graves

Date

7/27/2021

City of Salem

Commonwealth of Virginia

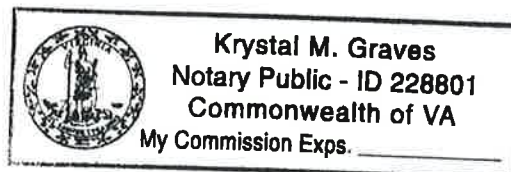
The foregoing instrument was acknowledged before me this *27th* day of *July*, 20*21*, by

Goretha L. Prillaman

Krista M. Graves

Notary Public

My commission expires: *March 31, 2023*





**IMPORTANT NOTICE OF PUBLIC HEARINGS
PROPOSAL TO CHANGE ZONING**

Notice is hereby given that a request has been filed with the City of Salem by the property owner/petitioner of the property described below. The Planning Commission of the City of Salem will consider this request at its meeting listed below and make a recommendation to the City Council. The City Council of the City of Salem will also consider this request, and the recommendation of the Planning Commission at its meeting listed below. City Council will make the final decision in this matter.

Property Owner/Petitioner:

Roanoke College Trustees, property owner

Location of Property:

232 North Broad St (Tax Map # 87-7-7)

Purpose of Request:

To rezone from CUD College and University District to RSF Residential Single Family District on a portion of the property located at 232 North Broad Street, (Tax Map # 87-7-7).

The date, time, and place of the public hearing scheduled by the Planning Commission on this request are as follows:

**WEDNESDAY, AUGUST 11, 2021 – 7 P.M.
COUNCIL CHAMBERS, FIRST FLOOR, SALEM CITY HALL
114 NORTH BROAD STREET, SALEM, VIRGINIA**

The date, time, and place of the public hearing scheduled by City Council on this request are as follows:

**MONDAY, AUGUST 23, 2021 – 6:30 P.M.
COUNCIL CHAMBERS, FIRST FLOOR, SALEM CITY HALL
114 NORTH BROAD STREET, SALEM, VIRGINIA**

Additional information on this request may be obtained in the Community Development Department, 21 South Bruffey Street, Salem, Virginia or at (540) 375-3032.

James E. Taliaferro, II
Executive Secretary
Planning Commission

AT A REGULAR MEETING OF THE PLANNING COMMISSION OF THE CITY OF SALEM, VIRGINIA held in Council Chambers of City Hall, 114 North Broad Street, Salem, VA 24153

AGENDA ITEM:

Major Subdivision

Consider the request for preliminary and final approval of proposed subdivision plat and subdivision plan filed by RFC2017 Land, LLC, property owner/developer, for a 7.767 acre tract known as the Village at North Mill, Phase Four.

SUBMITTED BY:

Benjamin W. Tripp, AICP, CECd, City Planner

SUMMARY OF INFORMATION:

SITE CHARACTERISTICS:

Zoning: RSF Residential Single-Family District
Existing Use: Vacant

This plat would create 7 new lots in phase 4 of the Village at North Mill. These lots are an extension of Woodside Drive, with a remnant lot to be included in a future phase.

STAFF RECOMMENDATION:

This plat meets the City of Salem Subdivision Ordinance, and the Subdivision Plan has been approved by staff. Staff recommends approval.

KNOW ALL MEN BY THESE PRESENTS TO WIT:
THAT RFC2017 LAND, LLC IS THE FEE SIMPLE OWNER OF THE LAND SHOWN HEREON BOUNDED BY CORNERS 1 THROUGH 22 TO 1, AND IS A PORTION OF THE LAND CONVEYED BY DEED, AS RECORDED IN THE CLERK’S OFFICE OF THE CIRCUIT COURT OF THE CITY OF SALEM, VIRGINIA, IN INST.#170001574.

THE ABOVE DESCRIBED OWNER BY VIRTUE OF THE RECORDATION OF THIS PLAT DOES HEREBY GRANT TO THE CITY OF SALEM THOSE CERTAIN AREAS SHOWN HEREON AS SET APART FOR USE AS PUBLIC EASEMENTS.

THE SAID OWNER HEREBY CERTIFIES THAT HE HAS SUBDIVIDED THE LAND AS SHOWN HEREON, AS REQUIRED BY SECTION 15.2–2240 THROUGH 15.2–2279 OF THE CODE OF VIRGINIA, 1950 AS AMENDED TO DATE AND FURTHER PURSUANT TO AND IN COMPLIANCE WITH CHAPTER 26 "SUBDIVISIONS" AS AMENDED TO DATE OF THE GENERAL ORDINANCE OF THE CITY OF SALEM, VIRGINIA AND SECTION 8A OF THE CITY OF SALEM EROSION AND SEDIMENT CONTROL ORDINANCE; ENTIRELY WITH HIS FREE WILL AND CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE OWNER OR PROPRIETORS OF THE LAND AND THE TRUSTEES IN ANY DEED OF TRUST, OR OTHER INSTRUMENT IMPOSING A LIEN UPON SUCH LAND, IF ANY THERE BE.

IN WITNESS WHEREON ARE HEREBY PLACED THE FOLLOWING SIGNATURES AND SEALS:

RFC2017 LAND, LLC

BY: _____ ITS: _____

| COORDINATE LIST (VA STATE GRID SOUTH ZONE) | | |
|---|-------------|--------------|
| Point | Northing | Easting |
| 1 | 3640093.862 | 11036207.179 |
| 2 | 3640049.680 | 11036008.871 |
| 3 | 3640153.261 | 11036007.290 |
| 4 | 3640234.448 | 11036006.067 |
| 5 | 3640276.569 | 11036015.216 |
| 6 | 3640386.701 | 11036039.138 |
| 7 | 3640379.260 | 11035915.176 |
| 8 | 3640561.164 | 11035898.248 |
| 9 | 3640704.074 | 11036180.353 |
| 10 | 3640853.612 | 11036475.540 |
| 11 | 3640448.599 | 11036503.840 |
| 12 | 3640352.957 | 11036535.123 |
| 13 | 3640254.032 | 11036567.479 |
| 14 | 3640098.800 | 11036426.044 |
| 15 | 3640051.638 | 11036278.832 |
| 16 | 3640120.911 | 11036250.090 |
| 17 | 3640141.722 | 11036241.456 |
| 18 | 3640164.213 | 11036232.125 |
| 19 | 3640183.818 | 11036230.951 |
| 20 | 3640159.729 | 11036172.890 |
| 21 | 3640145.051 | 11036185.940 |
| 22 | 3640123.543 | 11036194.865 |
| 23 | 3640137.900 | 11036178.983 |
| 24 | 3640155.448 | 11036152.513 |
| 25 | 3640202.382 | 11036141.129 |
| 26 | 3640240.206 | 11036171.166 |
| 27 | 3640239.747 | 11036219.461 |
| 28 | 3640201.359 | 11036248.774 |
| 29 | 3640163.572 | 11036242.765 |

STATE OF VIRGINIA

_____ OF _____

I, _____, A NOTARY PUBLIC IN
AND FOR THE AFORESAID STATE DO HEREBY CERTIFY THAT
_____, WHOSE
NAME IS SIGNED TO THE FOREGOING INSTRUMENT, HAS
PERSONALLY APPEARED BEFORE ME AND ACKNOWLEDGED THE
SAME ON THIS ____ DAY OF _____, 20__.

_____, REG. # _____
NOTARY PUBLIC
MY COMMISSION EXPIRES _____

APPROVED:

CHARLES E. VAN ALLMAN, JR., P.E., L.S. DATE
DIRECTOR OF COMMUNITY DEVELOPMENT, CITY OF SALEM

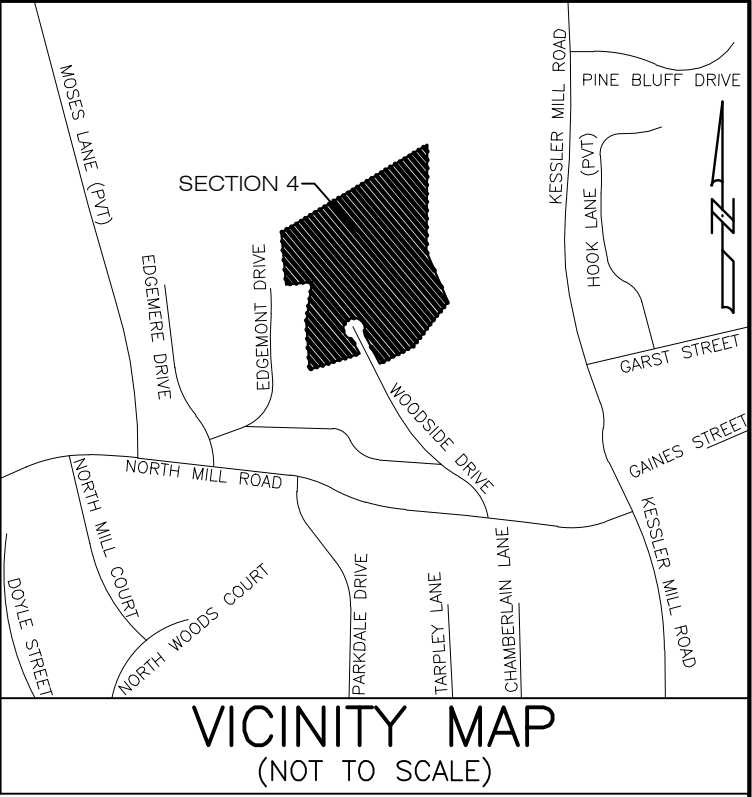
JAMES E. TALIAFERRO, II, P.E. LS DATE
EXECUTIVE SECRETARY, CITY OF SALEM PLANNING COMMISSION

IN THE CLERK’S OFFICE OF THE CIRCUIT COURT OF THE CITY OF
SALEM, VIRGINIA, THIS PLAT WAS PRESENTED AND WITH THE
CERTIFICATE OF ACKNOWLEDGMENT THERETO ANNEXED IS ADMITTED
TO RECORD AT _____ O’CLOCK ____M. ON THIS _____
DAY OF _____, 20__, IN PLAT BOOK _____, PAGE _____.

TESTE: _____
CLERK

DEPUTY CLERK

- NOTES:
1. OWNER OF RECORD: RFC2017 LAND, LLC
 2. LEGAL REFERENCE: INSTRUMENT #170001574
 3. PROPERTY IS CURRENTLY ZONED RSF
 4. THE CURRENT TAX MAP NUMBER: 29–1–5
 5. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND THERE MAY EXIST ENCUMBRANCES WHICH AFFECT THE PROPERTY NOT SHOWN HEREON.
 6. PROPERTY IS IN F.E.M.A. DEFINED ZONE X UNSHADED AS SHOWN ON FEMA FLOOD MAP PANEL 51161C0141G DATED SEPTEMBER 28, 2007.
 7. PROPERTY MAY CONTAIN UNDERGROUND UTILITY SERVICE LINES.



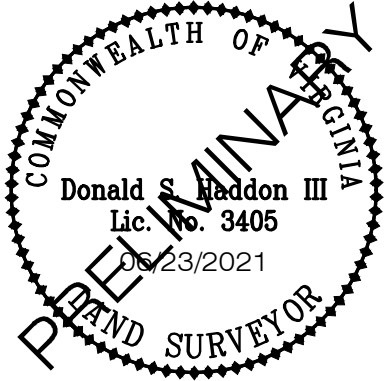
| ACREAGE TABLE | |
|--|-------------|
| TOTAL ACREAGE | 7.767 ACRES |
| – 6.536 ACRES – LOTS 59 THROUGH 65 | |
| – 0.080 ACRE – IN R/W DEDICATION | |
| 1.151 ACRES – REMAINING FOR FUTURE DEVELOPMENT | |

THE RECORDATION OF THIS PLAT DOES NOT CONSTITUTE A CONVEYANCE OF LAND.
ANY LOT, PARCEL OR TRACT OF LAND THAT IS INTENDED FOR SALE AND/OR
CONVEYANCE MUST BE CONVEYED BY A DEED AND SAID DEED MUST BE
RECORDED IN THE CITY OF SALEM, VIRGINIA CIRCUIT COURT CLERK’S OFFICE.

PLAT OF SURVEY
SHOWING THE RESUBDIVISION OF
TRACT C, SECTION 3
THE VILLAGE AT NORTH MILL
PLAT BOOK 14 PAGE 94
OWNED BY RFC2017 LAND, LLC
TO BE KNOWN AS
**THE VILLAGE AT NORTH MILL
SECTION 4**
CREATING HEREON LOTS 59 THROUGH 65, PARCEL A,
& 3,471 SF TOTAL PUBLIC RIGHT OF WAY DEDICATION
SITUATED ON WOODSIDE DRIVE
CITY OF SALEM, VIRGINIA
DATED JUNE 23, 2021
JOB #04170043.00–SEC.4
SHEET 1 OF 2

I HEREBY CERTIFY THAT THIS PLAT IS FROM RECORDS AND
IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DONALD S. HADDON III, L.S. 003405



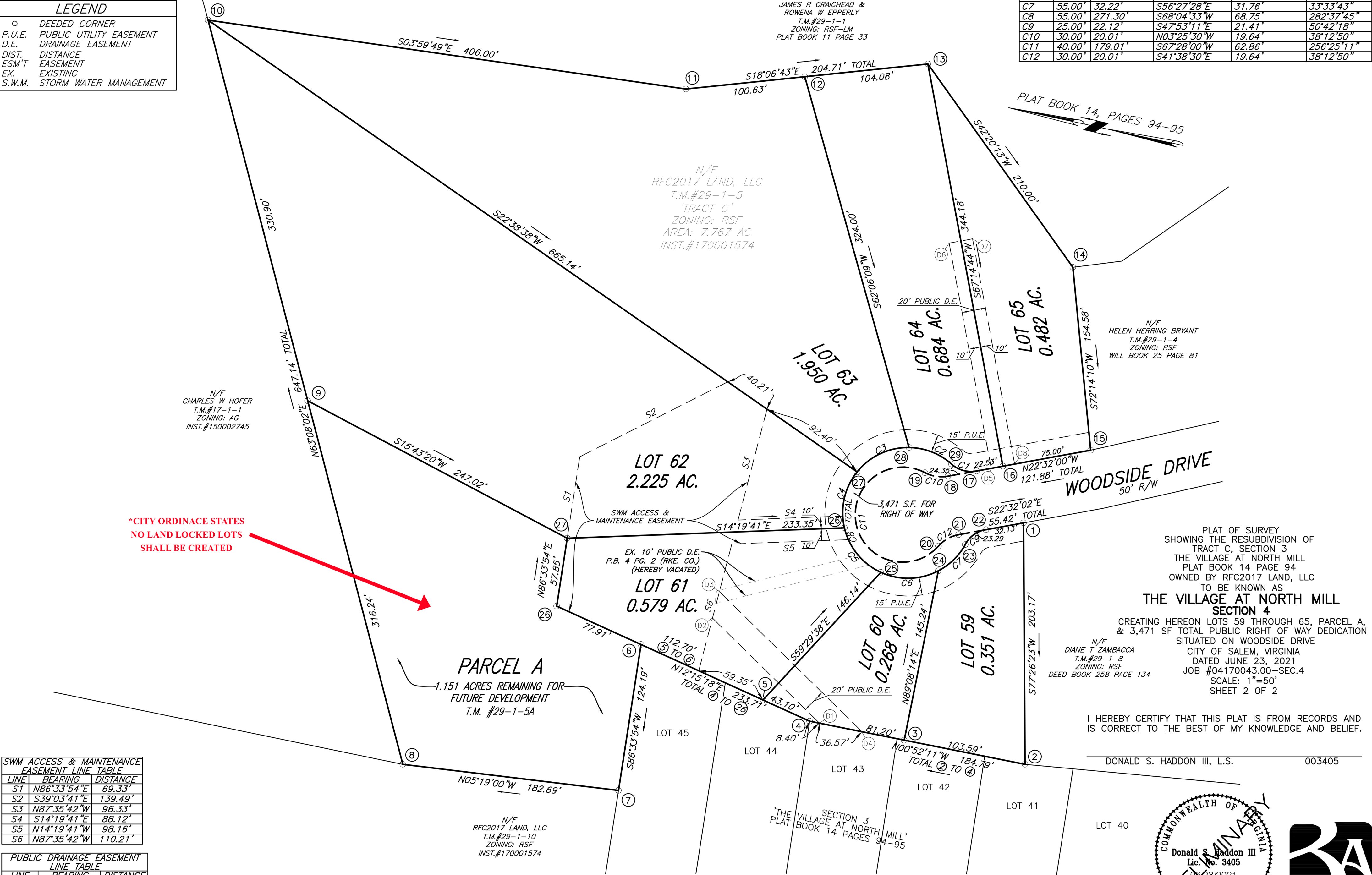
PLANNERS / ARCHITECTS / ENGINEERS / SURVEYORS
ROANOKE / RICHMOND / NEW RIVER VALLEY / STAUNTON / HARRISONBURG / LYNCHBURG
1208 Corporate Circle / Roanoke, Virginia 24018 / Phone (540) 772-9580 / www.balzer.cc

***NOTE: ALL EASEMENTS
ARE NEW UNLESS
OTHERWISE SPECIFIED.**

| LEGEND | |
|--------|-------------------------|
| ○ | DEEDED CORNER |
| P.U.E. | PUBLIC UTILITY EASEMENT |
| D.E. | DRAINAGE EASEMENT |
| DIST. | DISTANCE |
| ESM'T | EASEMENT |
| EX. | EXISTING |
| S.W.M. | STORM WATER MANAGEMENT |

THE RECORDATION OF THIS PLAT DOES NOT CONSTITUTE A CONVEYANCE OF LAND. ANY LOT, PARCEL OR TRACT OF LAND THAT IS INTENDED FOR SALE AND/OR CONVEYANCE MUST BE CONVEYED BY A DEED AND SAID DEED MUST BE RECORDED IN THE CITY OF SALEM, VIRGINIA CIRCUIT COURT CLERK'S OFFICE.

| CURVE TABLE | | | | | |
|-------------|--------|------------|---------------|--------------|-------------|
| CURVE | RADIUS | ARC LENGTH | CHORD BEARING | CHORD LENGTH | DELTA ANGLE |
| C1 | 25.00' | 22.66' | N03°25'43"E | 21.89' | 51°55'26" |
| C2 | 55.00' | 39.08' | N09°02'06"E | 38.26' | 40°42'39" |
| C3 | 55.00' | 49.99' | N37°21'40"W | 48.29' | 52°04'53" |
| C4 | 55.00' | 50.00' | N89°27'20"W | 48.30' | 52°05'19" |
| C5 | 55.00' | 50.00' | S38°27'17"W | 48.30' | 52°05'27" |
| C6 | 55.00' | 50.00' | S13°38'01"E | 48.30' | 52°05'10" |
| C7 | 55.00' | 32.22' | S56°27'28"E | 31.76' | 33°33'43" |
| C8 | 55.00' | 271.30' | S68°04'33"W | 68.75' | 282°37'45" |
| C9 | 25.00' | 22.12' | S47°53'11"E | 21.41' | 50°42'18" |
| C10 | 30.00' | 20.01' | N03°25'30"W | 19.64' | 38°12'50" |
| C11 | 40.00' | 179.01' | S67°28'00"W | 62.86' | 256°25'11" |
| C12 | 30.00' | 20.01' | S41°38'30"E | 19.64' | 38°12'50" |

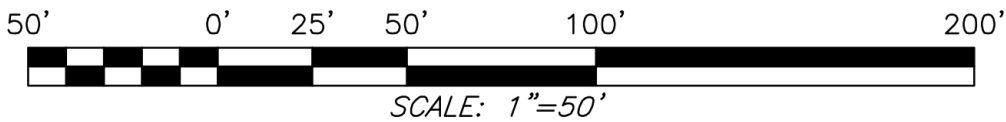


***CITY ORDINANCE STATES
NO LAND LOCKED LOTS
SHALL BE CREATED**

| SWM ACCESS & MAINTENANCE EASEMENT LINE TABLE | | |
|--|-------------|----------|
| LINE | BEARING | DISTANCE |
| S1 | N86°33'54"E | 69.33' |
| S2 | S39°03'41"E | 139.49' |
| S3 | N87°35'42"W | 96.33' |
| S4 | S14°19'41"E | 88.12' |
| S5 | N14°19'41"W | 98.16' |
| S6 | N87°35'42"W | 110.21' |

| PUBLIC DRAINAGE EASEMENT LINE TABLE | | |
|-------------------------------------|-------------|----------|
| LINE | BEARING | DISTANCE |
| D1~D2 | N32°17'05"E | 126.09' |
| D2~D3 | S87°35'42"E | 23.07' |
| D3~D4 | S32°17'05"W | 168.20' |
| D5~D6 | N67°12'52"E | 192.68' |
| D6~D7 | S22°45'16"E | 20.01' |
| D7~D8 | S67°12'52"W | 192.76' |

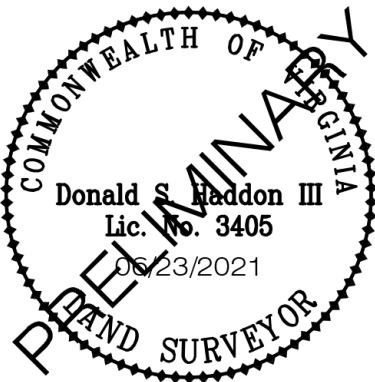
DRAWN BY: EJP
CHECKED BY: DSH



PLAT OF SURVEY
SHOWING THE RESUBDIVISION OF
TRACT C, SECTION 3
THE VILLAGE AT NORTH MILL
PLAT BOOK 14 PAGE 94
OWNED BY RFC2017 LAND, LLC
TO BE KNOWN AS
**THE VILLAGE AT NORTH MILL
SECTION 4**
CREATING HEREON LOTS 59 THROUGH 65, PARCEL A,
& 3,471 SF TOTAL PUBLIC RIGHT OF WAY DEDICATION
SITUATED ON WOODSIDE DRIVE
CITY OF SALEM, VIRGINIA
DATED JUNE 23, 2021
JOB #04170043.00-SEC.4
SCALE: 1"=50'
SHEET 2 OF 2

I HEREBY CERTIFY THAT THIS PLAT IS FROM RECORDS AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DONALD S. HADDON III, L.S. 003405



PLANNERS / ARCHITECTS / ENGINEERS / SURVEYORS
ROANOKE / RICHMOND / NEW RIVER VALLEY / STAUNTON / HARRISONBURG / LYNCHBURG
1208 Corporate Circle / Roanoke, Virginia 24018 / Phone (540) 772-9580 / www.balzer.cc

KNOW ALL MEN BY THESE PRESENTS TO WIT:
THAT RFC2017 LAND, LLC IS THE FEE SIMPLE OWNER OF THE LAND SHOWN HEREON BOUNDED BY CORNERS 1 THROUGH 22 TO 1 AND TAX MAP NUMBER 29-1-10, AND IS A PORTION OF THE LAND CONVEYED BY DEED, AS RECORDED IN THE CLERK’S OFFICE OF THE CIRCUIT COURT OF THE CITY OF SALEM, VIRGINIA, IN INST.#170001574.
THE ABOVE DESCRIBED OWNER BY VIRTUE OF THE RECORDATION OF THIS PLAT DOES HEREBY GRANT TO THE CITY OF SALEM THOSE CERTAIN AREAS SHOWN HEREON AS SET APART FOR USE AS PUBLIC EASEMENTS.

THE SAID OWNER HEREBY CERTIFIES THAT HE HAS SUBDIVIDED THE LAND AS SHOWN HEREON, AS REQUIRED BY SECTION 15.2-2240 THROUGH 15.2-2279 OF THE CODE OF VIRGINIA, 1950 AS AMENDED TO DATE AND FURTHER PURSUANT TO AND IN COMPLIANCE WITH CHAPTER 26 "SUBDIVISIONS" AS AMENDED TO DATE OF THE GENERAL ORDINANCE OF THE CITY OF SALEM, VIRGINIA AND SECTION 8A OF THE CITY OF SALEM EROSION AND SEDIMENT CONTROL ORDINANCE; ENTIRELY WITH HIS FREE WILL AND CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE OWNER OR PROPRIETORS OF THE LAND AND THE TRUSTEES IN ANY DEED OF TRUST, OR OTHER INSTRUMENT IMPOSING A LIEN UPON SUCH LAND, IF ANY THERE BE.

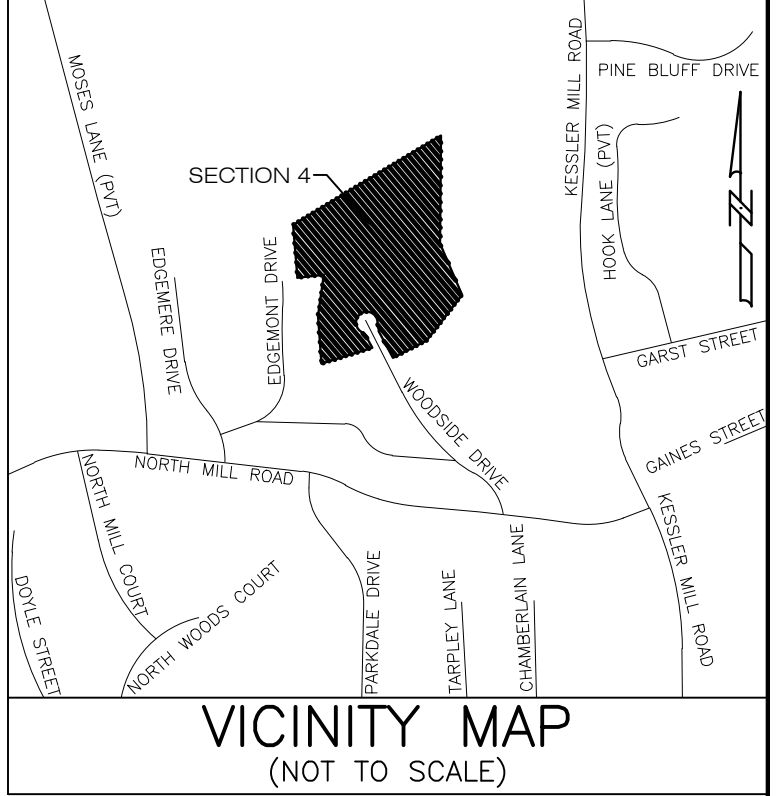
IN WITNESS WHEREON ARE HEREBY PLACED THE FOLLOWING SIGNATURES AND SEALS:

RFC2017 LAND, LLC

BY: _____ ITS: _____

NOTES:

1. OWNER OF RECORD: RFC2017 LAND, LLC
2. LEGAL REFERENCE: INSTRUMENT #170001574
3. PROPERTY IS CURRENTLY ZONED RSF
4. THE CURRENT TAX MAP NUMBER: 29-1-5
5. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND THERE MAY EXIST ENCUMBRANCES WHICH AFFECT THE PROPERTY NOT SHOWN HEREON.
6. PROPERTY IS IN F.E.M.A. DEFINED ZONE X UNSHADED AS SHOWN ON FEMA FLOOD MAP PANEL 51161C0141G DATED SEPTEMBER 28, 2007.
7. PROPERTY MAY CONTAIN UNDERGROUND UTILITY SERVICE LINES.



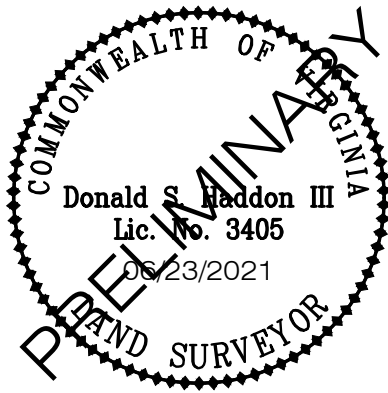
| ACREAGE TABLE | |
|--|--------------|
| TOTAL ACREAGE | 12.917 ACRES |
| - 6.536 ACRES - LOTS 59 THROUGH 65 | |
| - 0.080 ACRE - IN R/W DEDICATION | |
| 1.151 ACRES - REMAINING (TAX MAP 29-1-5) | |
| + 5.150 ACRES - (TAX MAP 29-1-10) | |
| 6.301 ACRES - REMAINING FOR FUTURE DEVELOPMENT | |

THE RECORDATION OF THIS PLAT DOES NOT CONSTITUTE A CONVEYANCE OF LAND. ANY LOT, PARCEL OR TRACT OF LAND THAT IS INTENDED FOR SALE AND/OR CONVEYANCE MUST BE CONVEYED BY A DEED AND SAID DEED MUST BE RECORDED IN THE CITY OF SALEM, VIRGINIA CIRCUIT COURT CLERK’S OFFICE.

PLAT OF SURVEY
SHOWING THE RESUBDIVISION AND COMBINATION OF
TRACT C AND TRACT A1, SECTION 3
THE VILLAGE AT NORTH MILL
PLAT BOOK 14 PAGE 94
OWNED BY RFC2017 LAND, LLC
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SITUATED ON WOODSIDE DRIVE
CITY OF SALEM, VIRGINIA
DATED JUNE 23, 2021
JOB #04170043.00-SEC.4
SHEET 1 OF 2

I HEREBY CERTIFY THAT THIS PLAT IS FROM RECORDS AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DONALD S. HADDON III, L.S. 003405



PLANNERS / ARCHITECTS / ENGINEERS / SURVEYORS
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1208 Corporate Circle / Roanoke, Virginia 24018 / Phone (540) 772-9580 / www.balzer.cc

| COORDINATE LIST (VA STATE GRID SOUTH ZONE) | | |
|---|-------------|--------------|
| Point | Northing | Easting |
| 1 | 3640093.862 | 11036207.179 |
| 2 | 3640049.680 | 11036008.871 |
| 3 | 3640153.261 | 11036007.290 |
| 4 | 3640234.448 | 11036006.067 |
| 5 | 3640276.569 | 11036015.216 |
| 6 | 3640386.701 | 11036039.138 |
| 7 | 3640379.260 | 11035915.176 |
| 8 | 3640561.164 | 11035898.248 |
| 9 | 3640704.074 | 11036180.353 |
| 10 | 3640853.612 | 11036475.540 |
| 11 | 3640448.599 | 11036503.840 |
| 12 | 3640352.957 | 11036535.123 |
| 13 | 3640254.032 | 11036567.479 |
| 14 | 3640098.800 | 11036426.044 |
| 15 | 3640051.638 | 11036278.832 |
| 16 | 3640120.911 | 11036250.090 |
| 17 | 3640141.722 | 11036241.456 |
| 18 | 3640164.213 | 11036232.125 |
| 19 | 3640183.818 | 11036230.951 |
| 20 | 3640159.729 | 11036172.890 |
| 21 | 3640145.051 | 11036185.940 |
| 22 | 3640123.543 | 11036194.865 |
| 23 | 3640137.900 | 11036178.983 |
| 24 | 3640155.448 | 11036152.513 |
| 25 | 3640202.382 | 11036141.129 |
| 26 | 3640240.206 | 11036171.166 |
| 27 | 3640239.747 | 11036219.461 |
| 28 | 3640201.359 | 11036248.774 |
| 29 | 3640163.572 | 11036242.765 |

STATE OF VIRGINIA
_____ OF _____

I, _____, A NOTARY PUBLIC IN
AND FOR THE AFORESAID STATE DO HEREBY CERTIFY THAT
_____, WHOSE
NAME IS SIGNED TO THE FOREGOING INSTRUMENT, HAS
PERSONALLY APPEARED BEFORE ME AND ACKNOWLEDGED THE
SAME ON THIS ____ DAY OF _____, 20__.

_____, REG. # _____
NOTARY PUBLIC
MY COMMISSION EXPIRES _____

APPROVED:

CHARLES E. VAN ALLMAN, JR., P.E., L.S. DATE
DIRECTOR OF COMMUNITY DEVELOPMENT, CITY OF SALEM

JAMES E. TALIAFERRO, II, P.E. LS DATE
EXECUTIVE SECRETARY, CITY OF SALEM PLANNING COMMISSION

IN THE CLERK’S OFFICE OF THE CIRCUIT COURT OF THE CITY OF
SALEM, VIRGINIA, THIS PLAT WAS PRESENTED AND WITH THE
CERTIFICATE OF ACKNOWLEDGMENT THERETO ANNEXED IS ADMITTED
TO RECORD AT _____ O’CLOCK __.M. ON THIS _____
DAY OF _____, 20__, IN PLAT BOOK _____, PAGE _____.

TESTE: _____
GARY CHANCE CRAWFORD
CLERK

DEPUTY CLERK

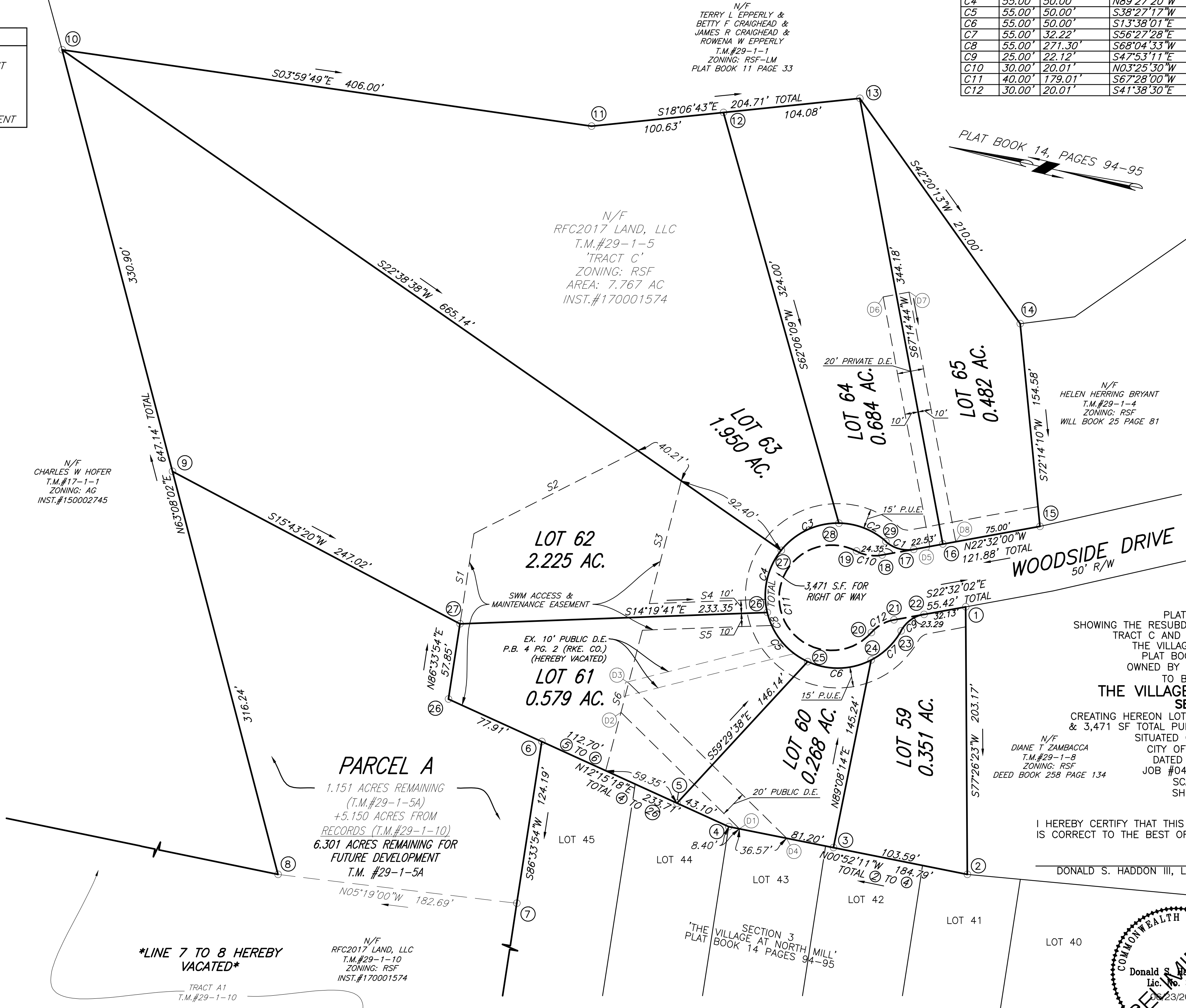
DRAWN BY: EJP
CHECKED BY: DSH

***NOTE: ALL EASEMENTS ARE NEW UNLESS OTHERWISE SPECIFIED.**

| LEGEND | |
|--------|-------------------------|
| ○ | DEEDED CORNER |
| P.U.E. | PUBLIC UTILITY EASEMENT |
| D.E. | DRAINAGE EASEMENT |
| DIST. | DISTANCE |
| ESM'T | EASEMENT |
| EX. | EXISTING |
| S.W.M. | STORM WATER MANAGEMENT |

THE RECORDATION OF THIS PLAT DOES NOT CONSTITUTE A CONVEYANCE OF LAND. ANY LOT, PARCEL OR TRACT OF LAND THAT IS INTENDED FOR SALE AND/OR CONVEYANCE MUST BE CONVEYED BY A DEED AND SAID DEED MUST BE RECORDED IN THE CITY OF SALEM, VIRGINIA CIRCUIT COURT CLERK'S OFFICE.

| CURVE TABLE | | | | | |
|-------------|--------|------------|---------------|--------------|-------------|
| CURVE | RADIUS | ARC LENGTH | CHORD BEARING | CHORD LENGTH | DELTA ANGLE |
| C1 | 25.00' | 22.66' | N03°25'43"E | 21.89' | 51°55'26" |
| C2 | 55.00' | 39.08' | N09°02'06"E | 38.26' | 40°42'39" |
| C3 | 55.00' | 49.99' | N37°21'40"W | 48.29' | 52°04'53" |
| C4 | 55.00' | 50.00' | N89°27'20"W | 48.30' | 52°05'19" |
| C5 | 55.00' | 50.00' | S38°27'17"W | 48.30' | 52°05'27" |
| C6 | 55.00' | 50.00' | S13°38'01"E | 48.30' | 52°05'10" |
| C7 | 55.00' | 32.22' | S56°27'28"E | 31.76' | 33°33'43" |
| C8 | 55.00' | 271.30' | S68°04'33"W | 68.75' | 282°37'45" |
| C9 | 25.00' | 22.12' | S47°53'11"E | 21.41' | 50°42'18" |
| C10 | 30.00' | 20.01' | N03°25'30"W | 19.64' | 38°12'50" |
| C11 | 40.00' | 179.01' | S67°28'00"W | 62.86' | 256°25'11" |
| C12 | 30.00' | 20.01' | S41°38'30"E | 19.64' | 38°12'50" |



| SWM ACCESS & MAINTENANCE EASEMENT LINE TABLE | | |
|--|-------------|----------|
| LINE | BEARING | DISTANCE |
| S1 | N86°33'54"E | 69.33' |
| S2 | S39°03'41"E | 139.49' |
| S3 | N87°35'42"W | 96.33' |
| S4 | S14°19'41"E | 88.12' |
| S5 | N14°19'41"W | 98.16' |
| S6 | N87°35'42"W | 110.21' |

| PUBLIC DRAINAGE EASEMENT LINE TABLE | | |
|-------------------------------------|-------------|----------|
| LINE | BEARING | DISTANCE |
| D1~D2 | N32°17'05"E | 126.09' |
| D2~D3 | S87°35'42"E | 23.07' |
| D3~D4 | S32°17'05"W | 168.20' |
| D3~D4 | N00°52'11"W | 36.57' |

| PRIVATE DRAINAGE EASEMENT LINE TABLE | | |
|--------------------------------------|-------------|----------|
| LINE | BEARING | DISTANCE |
| D5~D6 | N67°12'52"E | 192.68' |
| D6~D7 | S22°45'16"E | 20.01' |
| D7~D8 | S67°12'52"W | 192.76' |
| D8~D5 | N22°32'00"W | 20.00' |

LINE 7 TO 8 HEREBY VACATED

TRACT A1
T.M.#29-1-10

N/F
RFC2017 LAND, LLC
T.M.#29-1-10
ZONING: RSF
INST.#170001574

N/F
TERRY L EPPERLY &
BETTY F CRAIGHEAD &
JAMES R CRAIGHEAD &
ROWENA W EPPERLY
T.M.#29-1-1
ZONING: RSF-LM
PLAT BOOK 11 PAGE 33

N/F
RFC2017 LAND, LLC
T.M.#29-1-5
TRACT C
ZONING: RSF
AREA: 7.767 AC
INST.#170001574

PLAT OF SURVEY
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DATED JUNE 23, 2021
JOB #04170043.00-SEC.4
SCALE: 1"=50'
SHEET 2 OF 2

N/F
DIANE T ZAMBACCA
T.M.#29-1-8
ZONING: RSF
DEED BOOK 258 PAGE 134

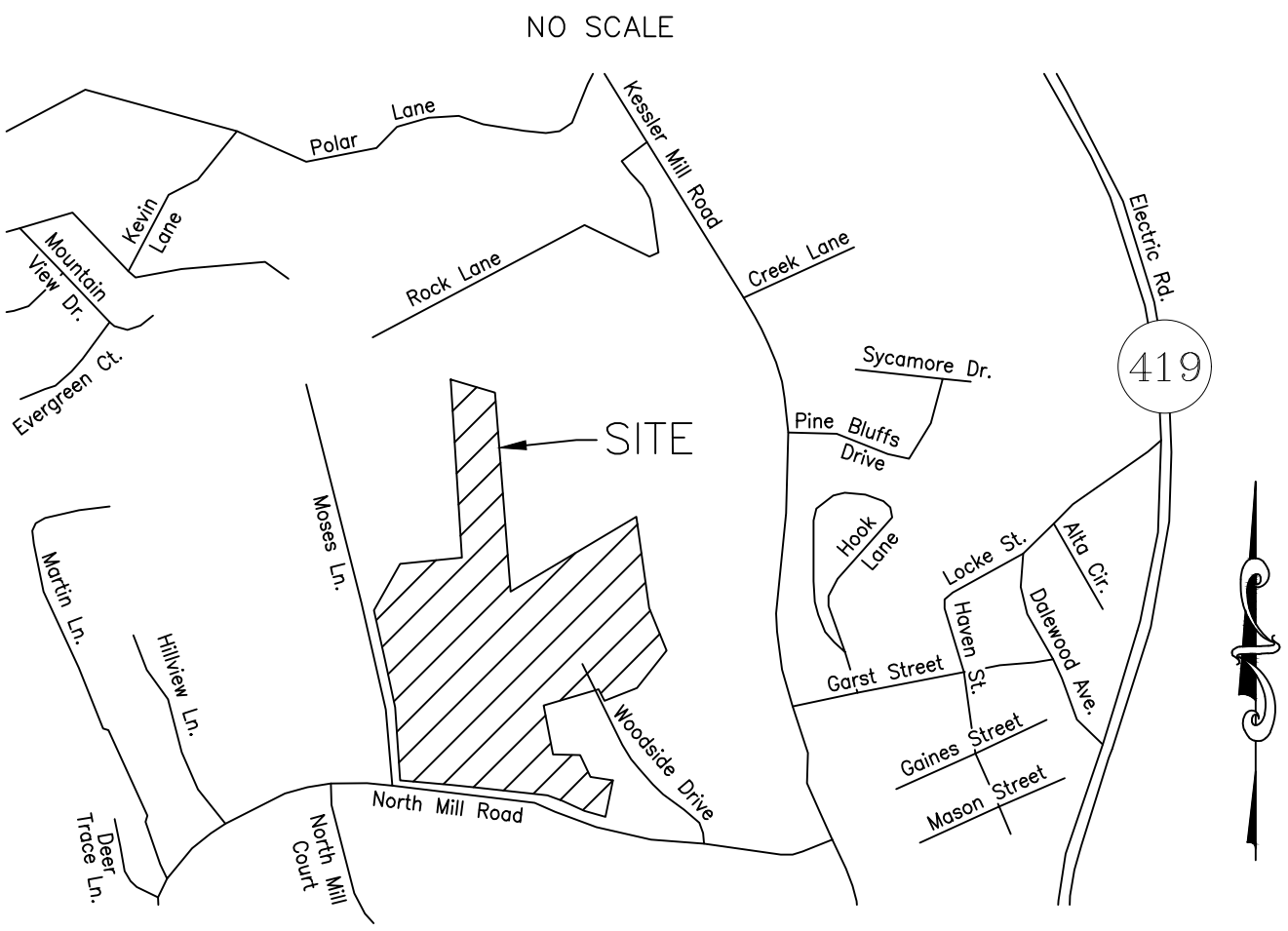
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DONALD S. HADDON III, L.S. 003405



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VICINITY MAP



GENERAL NOTES

ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE CITY OF SALEM AND/OR THE VIRGINIA DEPARTMENT OF TRANSPORTATION.

THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF SALEM ENGINEERING DEPARTMENT IN WRITING AT LEAST THREE (3) DAYS PRIOR TO ANY CONSTRUCTION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- A. INSTALLATION OF APPROVED EROSION CONTROL DEVICES.
- B. DEMOLITION OF EXISTING STRUCTURES.
- C. SUBGRADE EXCAVATION.
- D. INSTALLING STORM SEWERS OR CULVERTS.
- E. PLACING GRAVEL BASE.
- F. PLACING ANY ROADWAY SURFACE / CURBING

A PRECONSTRUCTION CONFERENCE SHALL BE SCHEDULED WITH THE CITY OF SALEM ENGINEERING DEPARTMENT, TO BE HELD AT LEAST ONE DAY PRIOR TO ANY CONSTRUCTION.

AN APPROVED SET OF PLANS AND ALL PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE.

FIELD CONSTRUCTION SHALL HONOR PROPOSED DRAINAGE DIVIDES AS SHOWN ON PLANS.

CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AT THE JOB SITE.

THE CONTRACTOR SHALL SHALL VERIFY BUILDING SIZE WITH THE ARCHITECTURAL PLANS DURING CONSTRUCTION FOR THE STRUCTURAL FOOTING LOCATIONS, ANY BUILDING OVERHANGS, ETC. THE CONTRACTOR SHALL ALSO REFER TO THESE DRAWINGS FOR THE EXACT UTILITY CONNECTION LOCATION AND SIZING. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND/OR THE ARCHITECT OF ANY DISCREPANCIES THAT WILL CAUSE A CONSTRUCTION CONFLICT.

THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING MUD FROM TRUCKS AND/OR OTHER EQUIPMENT PRIOR TO ENTERING PUBLIC STREETS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THE STREETS ARE IN A CLEAN, MUD AND DUST FREE CONDITION AT ALL TIMES.

THE DEVELOPER AND/OR CONTRACTOR SHALL SUPPLY ALL UTILITY COMPANIES WITH COPIES OF APPROVED PLANS, ADVISING THEM THAT ALL GRADING AND INSTALLATION SHALL CONFORM TO APPROVED PLANS.

CONTRACTORS SHALL NOTIFY UTILITIES OF PROPOSED CONSTRUCTION AT LEAST TWO, BUT NOT MORE THAN TEN WORKING DAYS IN ADVANCE. AREA PUBLIC UTILITIES MAY BE NOTIFIED THROUGH MISS UTILITY AT (800) 552-7001.

LOCATION OF UNDERGROUND UTILITIES IS BASED ON FIELD SURVEYS, AS SHOWN BY AVAILABLE RECORDS, AND AS LOCATED BY THE UTILITY LOCATOR SERVICE. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.

THE SITE WORK AND LANDSCAPING CONTRACTOR(S) SHALL COMPLY WITH LOCAL CODES IN OBSERVING EROSION CONTROL MEASURES, BOTH ON AND OFF THE SITE. REFER TO THE VIRGINIA UNIFORM CODING SYSTEM CONTAINED IN THE VIRGINIA SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION, FOR DETAILS AND SPECIFICATIONS OF EROSION CONTROL ITEMS SHOWN ON THESE PLANS.

ALL STORM DRAINAGE, SANITARY SEWER AND UNDERGROUND FUEL PIPING SHALL HAVE RIGHT-OF-WAY OVER ALL ELECTRICAL, GAS, IRRIGATION, TELEPHONE & CABLE TELEVISION AND WATERLINE WORK.

ALL PAVING AND CURBING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

ALL STORM DRAIN CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

ALL PARKING LOT STRIPING SHALL BE WHITE STANDARD TRAFFIC PAINT FOUR INCHES (4") WIDE UNLESS OTHERWISE NOTED.

THE EXISTING CURB & GUTTER, PAVEMENT AND OTHER PHYSICAL FEATURES THAT REQUIRE DEMOLITION SHALL BE REMOVED FROM THE SITE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF SALEM. THE CONTRACTOR SHALL SAW-CUT ALL EXISTING FEATURES THAT ARE TO BE DEMOLISHED AND WHERE NEW CONSTRUCTION JOINS THE EXISTING.

ALL NEW SIGNAGE ERECTED ON-SITE SHALL BE IN CONFORMANCE WITH THE CITY OF SALEM SIGN ORDINANCE. A PERMIT WILL BE REQUIRED FROM THE BUILDING INSPECTOR'S OFFICE.

A CERTIFIED LANDSCAPER SHALL INSTALL SOD BETWEEN THE PERIMETER CURBING AND PROPERTY LINES AND ALSO BETWEEN THE STREET RIGHT-OF-WAY AND EXISTING CURBING (WHICH IS TO REMAIN).

THE CONSTRUCTION OF THE ON-SITE WATER AND SANITARY SEWER LATERALS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE WESTERN VIRGINIA REGIONAL DESIGN AND CONSTRUCTION STANDARDS AND THE VIRGINIA BOCA CODE, LATEST EDITION.

CONSTRUCTION DEBRIS SHALL BE CONTAINED IN ACCORDANCE WITH THE VIRGINIA VIRGINIA LITTER CONTROL ACT. NO LESS THAN ONE LITTER RECEPTACLE SHALL BE PROVIDED ON-SITE.

SOIL EROSION NOTES

PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE HAS BEEN REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY BE AT FINAL GRADE BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE (1) YEAR.

DURING CONSTRUCTION OF THE PROJECT, SOIL STOCK PILES SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.

A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED. PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED THAT, IN THE OPINION OF THE LOCAL PROGRAM ADMINISTRATOR OR AGENT, IS UNIFORM, MATURE ENOUGH TO SURVIVE AND WILL INHIBIT EROSION.

SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN THE LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCES TAKES PLACE.

STABILIZATION MEASURES SHALL BE APPLIED TO EARTHEN STRUCTURES SUCH AS DAMS, DIKES, AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.

CUT AND FILL SLOPES SHALL BE CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. SLOPES THAT ARE FOUND TO BE ERODING EXCESSIVELY WITH ONE (1) YEAR OF PERMANENT STABILIZATION SHALL BE PROVIDED WITH ADDITIONAL SLOPE STABILIZING MEASURES UNTIL THE PROBLEM IS CORRECTED.

CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME OR SLOPE DRAIN STRUCTURE.

WHENEVER WATER SEEPS FROM A SLOPE FACE, ADEQUATE DRAINAGE OR OTHER PROTECTION SHALL BE PROVIDED.

ALL STORM SEWER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.

BEFORE NEWLY CONSTRUCTED STORMWATER CONVEYANCE CHANNELS ARE MADE OPERATIONAL, ADEQUATE OUTLET PROTECTION AND ANY REQUIRED TEMPORARY OR PERMANENT CHANNEL LINING SHALL BE INSTALLED IN BOTH THE CONVEYANCE CHANNEL AND RECEIVING CHANNEL.

WHEN WORK IN A LIVE WATERCOURSE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENT, CONTROL SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION. NONERODIBLE MATERIAL SHALL BE USED FOR THE CONSTRUCTION OF CAUSEWAYS AND COVERDAMS. EARTHEN FILL MAY BE USED FOR THESE STRUCTURES IF ARMORED BY NONERODIBLE COVER MATERIALS.

WHEN A LIVE WATERCOURSE MUST BE CROSSED BY CONSTRUCTION VEHICLES MORE THAN TWICE IN ANY SIX-MONTH PERIOD, A TEMPORARY STREAM CROSSING CONSTRUCTED OF NONERODIBLE MATERIAL SHALL BE PROVIDED. ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS PERTAINING TO WORKING IN OR CROSSING LIVE WATERCOURSES SHALL BE MET.

THE BED AND BANKS OF ANY WATERCOURSE SHALL BE STABILIZED IMMEDIATELY AFTER WORK IN THE WATERCOURSE IS COMPLETED.

UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:

- A. NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME
- B. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES
- C. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THRU AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
- D. RESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THESE REGULATIONS.
- E. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.

WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF THE DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.

ALL EROSION AND SEDIMENT CONTROL STRUCTURES AND SYSTEMS SHALL BE MAINTAINED, INSPECTED AND REPAIRED AS NEEDED TO INSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. AN INSPECTION SHALL BE MADE AT LEAST ONCE IN EVERY TWO-WEEK PERIOD AND WITHIN 48 HOURS FOLLOWING ANY RUNOFF PRODUCING STORM EVENT.

ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED BY THE LOCAL PROGRAM ADMINISTRATOR. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.

REVISIONS

| No. | Date | Remarks | By |
|-----|----------|---|-----|
| 1 | 07/02/07 | Revised per City of Salem 1st Review | CPB |
| 2 | 03/14/08 | Waterline Revisions | CPB |
| 3 | 07/14/10 | Revised Layout | CPB |
| 4 | 09/20/10 | Phase Line (Phase 1) | CPB |
| 5 | 01/18/13 | Update for Resubmittal to City of Salem | CPB |
| 6 | 02/26/16 | Phasing Update (Phase 2) | CPB |
| 7 | 06/16/17 | Phasing Update (Phase 3) | CPB |
| 8 | 12/13/17 | Borrow Area (Phases 2 & 3) | CPB |
| 9 | 07/22/21 | Phasing Update (Phase 4) | CPB |

SHEET INDEX

| SHEET | TITLE |
|-------|-----------------------------|
| 1 | COVER |
| 2 | DEMOLITION PLAN |
| 3 | OVERALL PLAN |
| 4 | DIMENSIONAL PLAN |
| 5 | DIMENSIONAL PLAN |
| 6 | GRADING PLAN |
| 7 | GRADING PLAN |
| 8 | PROFILES |
| 9 | PROFILES |
| 10 | PROFILES |
| 11 | SWM DETAILS |
| 12 | ESC PLAN |
| 13 | ESC NOTES AND DETAILS |
| 14 | NOTES AND DETAILS |
| 15 | WESTERN VA REGIONAL DETAILS |
| 16 | WESTERN VA REGIONAL DETAILS |

LEGEND

| | |
|-----------------------------|-------------------|
| Property Line | _____ |
| Right-of-way | _____ |
| Centerline | _____ |
| Minimum Building Line | _____ |
| Existing Storm Sewer | ===== |
| Existing Sanitary Sewer | _____ 8" ss _____ |
| Existing Water Main | _____ 8" w _____ |
| Existing Contour | _____ 1155 _____ |
| Proposed Contour | _____ 1155 _____ |
| Proposed Drainage Divide | ===== |
| Proposed Limits of Clearing | _____ |
| Proposed Storm Sewer | ===== |
| Proposed Sanitary Sewer | _____ 8" SS _____ |
| Proposed Water Main | _____ 8" w _____ |

SURVEY INFORMATION

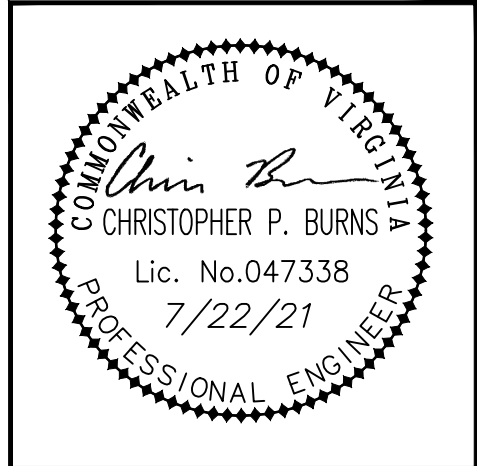
Horizontal and vertical control surveys were performed in (year) 2006 by BALZER & ASSOCIATES, INC.

All elevations must be referenced to the National Geodetic Vertical Datum of 1929.

Source of topographic mapping is CITY OF SALEM AERIAL MAPPING dated

Boundary was performed by BALZER AND ASSOCIATES, INC. dated 2006

The professional seal and signature on this page certifies the boundary survey and topographic mapping to be accurate and correct.



PROFESSIONAL ENGINEER SEAL AND SIGNATURE

WATER NOTES

A MINIMUM COVER OF THREE (3) FEET IS REQUIRED OVER PROPOSED LINES.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING VALVE VAULTS AFTER PAVING AND ADJUSTMENT TO FINAL GRADE IF NECESSARY.

ALL EXISTING UTILITIES MAY NOT BE SHOWN, OR MAY NOT BE SHOWN IN THE EXACT LOCATION. THE CONTRACTOR SHALL COMPLY WITH STATE WATER WORKS REGULATIONS, SECTION 12.05.03, WHERE LINES CROSS.

ALL TRENCHES IN EXISTING OR FUTURE HIGHWAY RIGHT OF WAYS SHALL BE COMPACTED ACCORDING TO VIRGINIA DEPT. OF TRANSPORTATION STANDARDS.

LINES SHALL BE STAKED PRIOR TO CONSTRUCTION.

ALL WATERLINE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE WESTERN VIRGINIA REGIONAL DESIGN AND CONSTRUCTION STANDARDS.

SEWER NOTES

A MINIMUM COVER OF FOUR (4) FEET IS REQUIRED OVER PROPOSED LINES.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING VALVE VAULTS AFTER PAVING AND ADJUSTMENT TO FINAL GRADE IF NECESSARY.

ALL EXISTING UTILITIES MAY NOT BE SHOWN, OR MAY NOT BE SHOWN IN THE EXACT LOCATION. THE CONTRACTOR SHALL COMPLY WITH STATE WATER WORKS REGULATIONS, SECTION 12.05.03, WHERE LINES CROSS.

ALL TRENCHES IN EXISTING OR FUTURE HIGHWAY RIGHT OF WAYS SHALL BE COMPACTED ACCORDING TO VIRGINIA DEPT. OF TRANSPORTATION STANDARDS.

LINES SHALL BE STAKED PRIOR TO CONSTRUCTION.

ALL SEWER LINE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE WESTERN VIRGINIA REGIONAL DESIGN AND CONSTRUCTION STANDARDS.

NAME OF DEVELOPMENT THE VILLAGE AT NORTH MILL

LOCATION NORTH MILL ROAD BETWEEN KESSLER MILL ROAD AND MOSES LANE CITY OF SALEM, VIRGINIA

OWNER RFC2017 LAND LLC 5211 CONCOURSE DR S ROANOKE, VIRGINIA 24019 (540) 204-4247

DEVELOPER RFC2017 LAND LLC 5211 CONCOURSE DR S ROANOKE, VIRGINIA 24019 (540) 204-4247

TAX MAP NOS. 29-1-5, 29-1-10, 29-1-11, 29-1-12, 35-1-1, 35-1-3

JOB NO. 04170043.00 DATE: 03/30/2007 DESIGNED BY: C.P.B. CHECKED BY: S.M.H. SHEET 1 OF 16

DEMOLITION NOTES

DEMOLITION SHALL INCLUDE, UNLESS OTHERWISE NOTED ON DRAWINGS, REMOVAL OF EXISTING OBJECTS OR IMPROVEMENTS, WHETHER INDICATED ON THE DRAWINGS OR NOT, THAT WOULD IN THE OPINION OF THE OWNER, PREVENT OR INTERFERE WITH THE PROGRESS OR COMPLETION OF THE PROPOSED WORK.

PERMITS, FEES AND LICENSES SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR, INCLUDING DISPOSAL CHARGES AS REQUIRED.

WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE GOVERNING AUTHORITIES IN DEMOLITION OF EXISTING PAVEMENT, CURBS AND GUTTERS, DRAINAGE STRUCTURES AND UTILITIES AS MAY BE REQUIRED.

ALL EXISTING UTILITIES TO ANY BUILDINGS SHOWN TO BE RAZED SHALL BE DISCONNECTED AND PLUGGED OR CAPPED AS REQUIRED BY THE CITY.

CONTRACTOR SHALL SAW-CUT ALL JOINTS WHERE EXISTING CURBING, PAVEMENT AND SIDEWALK IS TO BE DEMOLISHED AND NEW CONSTRUCTION JOINS THE EXISTING.

FOR DEMOLITION OF BUILDINGS, CONTRACTOR SHALL DEMOLISH AND REMOVE BELOW GRADE CONSTRUCTION AND CONCRETE SLABS ON GRADE TO A MINIMUM DEPTH OF TWO FEET BELOW PROPOSED SUBGRADE.

CONTRACTOR SHALL COMPLETELY FILL BELOW GRADE ALL AREAS AND VOIDS FROM DEMOLITION OR REMOVAL OF STRUCTURES (UNDERGROUND FUEL STORAGE TANK, BASEMENTS, WELLS, ETC.) USING APPROVED SELECT FILL MATERIAL.

ALL EXISTING CURBING, CONCRETE SIDEWALK, ENTRANCES, BUILDING FOUNDATIONS AND TREES AND BRUSH THAT ARE DEMOLISHED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR, BUILDING DEBRIS, ETC. SHALL NOT BE USED AS FILL MATERIAL ON THE SITE.

CONTRACTOR SHALL PROVIDE THE FOLLOWING PROTECTIONS AT THE JOB SITE:
MAKE ARRANGEMENTS, BEFORE INITIATING DEMOLITION, FOR RELOCATING, DISCONNECTION, REROUTING, ABANDONING, OR SIMILAR ACTION AS MAY BE REQUIRED RELATIVE TO UTILITIES AND OTHER UNDERGROUND PIPING, TO PERMIT WORK TO PROCEED WITHOUT DELAY. ARRANGEMENTS SHALL BE MADE IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES OF THE UTILITIES MENTIONED, SUCH AS OVERHEAD AND UNDERGROUND POWER AND TELEPHONE LINES AND EQUIPMENT, GAS PIPING, STORM SEWERS, SANITARY SEWERS, OR WATER PIPING. CONTRACTOR SHALL NOT USE WATER WHEN IT MAY CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS, SUCH AS ICE, FLOODING AND/OR POLLUTION.

ENSURE SAFE PASSAGE OF PERSONS AROUND ALL AREAS OF DEMOLITION.

CONDUCT OPERATIONS TO PREVENT DAMAGE TO ADJACENT BUILDINGS, STRUCTURES, OTHER FACILITIES, OR INJURY TO PERSONS.

PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS AT NO COST TO THE OWNER.

MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS. PREVENT INTERRUPTION OF EXISTING UTILITIES SERVING OCCUPIED OR USED FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES AS ACCEPTABLE TO THE GOVERNING AUTHORITIES.

USE WATER SPRINKLING AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN AIR TO LOWEST PRACTICAL LEVEL.

COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.

CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITIONS EXISTING PRIOR TO THE START OF WORK.



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1208 Corporate Circle
Roanoke, VA 24018
540-772-9580
FAX 540-772-8050

COMMONWEALTH OF VIRGINIA
CHRISTOPHER P. BURNS
Lic. No. 047338
7/22/21
PROFESSIONAL ENGINEER

THE VILLAGE AT NORTH MILL
DEMOLITION PLAN
CITY OF SALEM, VIRGINIA

DRAWN BY CPB
DESIGNED BY CPB
CHECKED BY SMH
DATE 03/30/2007
SCALE 1"=60'

REVISIONS:
07/02/2007
03/14/2008
07/14/2010
09/20/2010
01/18/2013
01/18/2016
06/16/2017
07/22/2021

SHEET NO.
C-2
JOB NO. 04170043.00

SITE SUMMARY

OWNER/DEVELOPER: FC LAND, LLC
2404 ELECTRIC RD., SUITE B
ROANOKE, VIRGINIA 24018

TAX MAP NUMBERS: 29-1-5, 29-1-10, 29-1-11
29-1-12, 35-1-1, 35-1-3

SIZE: 27.57 ACRES

ZONING: RSF

PROPOSED USE: RESIDENTIAL SUBDIVISION

MINIMUM LOT SIZE REQUIRED: 9,000 SQ.FT.

PROPOSED DENSITY: 2.4 LOTS/AC.

MINIMUM LOT FRONTAGE REQUIRED: 75'

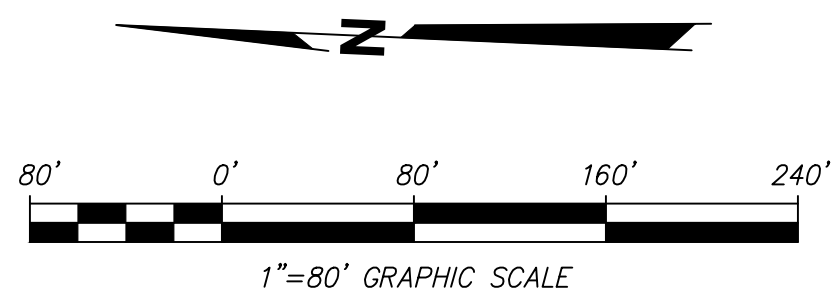
LOT FRONTAGE PROVIDED: 75' MINIMUM

LIMITS OF CLEARING AND GRADING: 19.4 AC OVERALL (APPROX. 1.1 ACRES IN PHASE 4)

SETBACKS: FRONT: 25' OR 30' FROM THE CENTERLINE OF NORTH MILL ROAD
SIDE: 15'
REAR: 25'

MAXIMUM BUILDING HEIGHT: 45'

WATER & SEWER: ALL PROPOSED LOTS ARE TO BE SERVED BY PUBLIC WATER AND SEWER. THE EXISTING WATERLINE DOES NOT HAVE ADEQUATE PRESSURE TO SERVE FIRE FLOW REQUIREMENTS TO PHASE 4 OF THE PROPOSED SUBDIVISION. AS DISCUSSED WITH THE CITY OF SALEM, EXISTING GATE VALVES MUST BE OPENED TO PROVIDE ADEQUATE PRESSURE TO PHASE 4. THE DEVELOPER AND/OR CONTRACTOR SHALL COORDINATE WITH THE CITY OF SALEM PRIOR TO ANY CONSTRUCTION OF PHASE 4 TO ENSURE THAT ADEQUATE WATER PRESSURE IS MADE AVAILABLE TO THESE LOTS.



N/F Property of
Terry & Rowena Epperly &
James & Betty Craighead
Tax #29-1-1
Zoned RSFLM

N/F Property of
Helen Bryant
Tax #29-1-4
Zoned RSF

N/F Property of
Opal Underwood Estate
Tax #35-1-5
Zoned RSF

N/F Property of
Stephen & Sandra
Smeltzer
Tax #35-1-2
Zoned RSF

N/F Property of
Stephen & Sandra
Smeltzer
Tax #29-1-9
Zoned RSF

N/F Property of
Diane Zambacca
Tax #29-1-8
Zoned RSF

N/F Property of
Charles & Marie Hofer
Tax #17-1-1
Zoned AG

N/F Property of
Charles & Marie Hofer
Tax #12-3-10
Zoned AG

N/F Property of
Charles & Marie Hofer
Tax #12-3-11
Zoned AG

N/F Property of
Mark & Kristie Sinozich
Tax #11-1-3.3
Zoned RSF

N/F Property of
Paul & Linda White
Tax #11-1-3.1
Zoned RSF

N/F Property of
Inez Farrell
Tax #18-1-4
Zoned RSF

N/F Property of
Zebulon Vance Hooker II
Tax #28-2-1
Zoned RSF

N/F Property of
Stephen & Dorothy Eggleston
Tax #28-2-2
Zoned RSF

N/F Property of
John & Terri Kelly
Tax #28-1-1
Zoned RSF

N/F Property of
Paul & Cindy Jones
Tax #28-1-3
Zoned RSF

N/F Property of
Beulah Terry Estate
Tax #28-1-2
Zoned RSF

N/F Property of
Charlie Campbell
Tax #18-1-5.1
Zoned RSF

N/F Property of
Thomas & Cathy Sargent
Tax #18-1-6
Zoned RSF



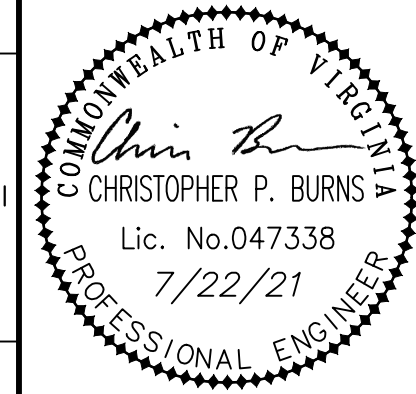
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THE VILLAGE AT NORTH MILL

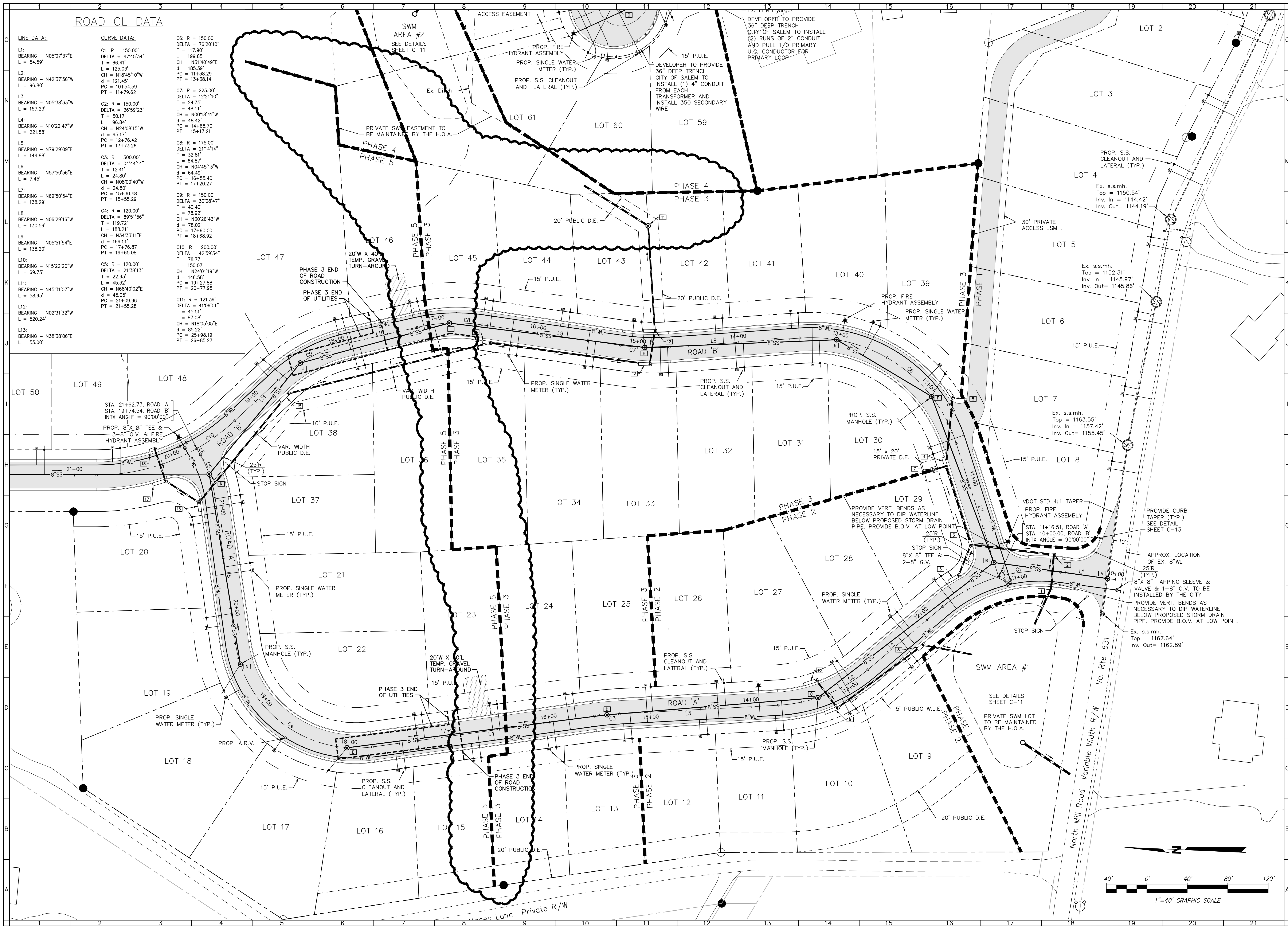
OVERALL PLAN

CITY OF SALEM, VIRGINIA

DRAWN BY CPB
DESIGNED BY CPB
CHECKED BY SMH
DATE 03/30/2007
SCALE 1"=80'

REVISIONS:
07/02/2007
03/14/2008
07/14/2010
09/20/2010
01/18/2013
01/18/2016
06/16/2017
07/22/2021

SHEET NO.
C-3
JOB NO. 04170043.00



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COMMONWEALTH OF VIRGINIA
CHRISTOPHER P. BURNS
Lic. No. 047338
7/22/21
PROFESSIONAL ENGINEER

THE VILLAGE AT NORTH MILL

DIMENSIONAL PLAN

CITY OF SALEM, VIRGINIA

DRAWN BY CPB
DESIGNED BY CPB
CHECKED BY SMH
DATE 03/30/2007
SCALE 1"=40'

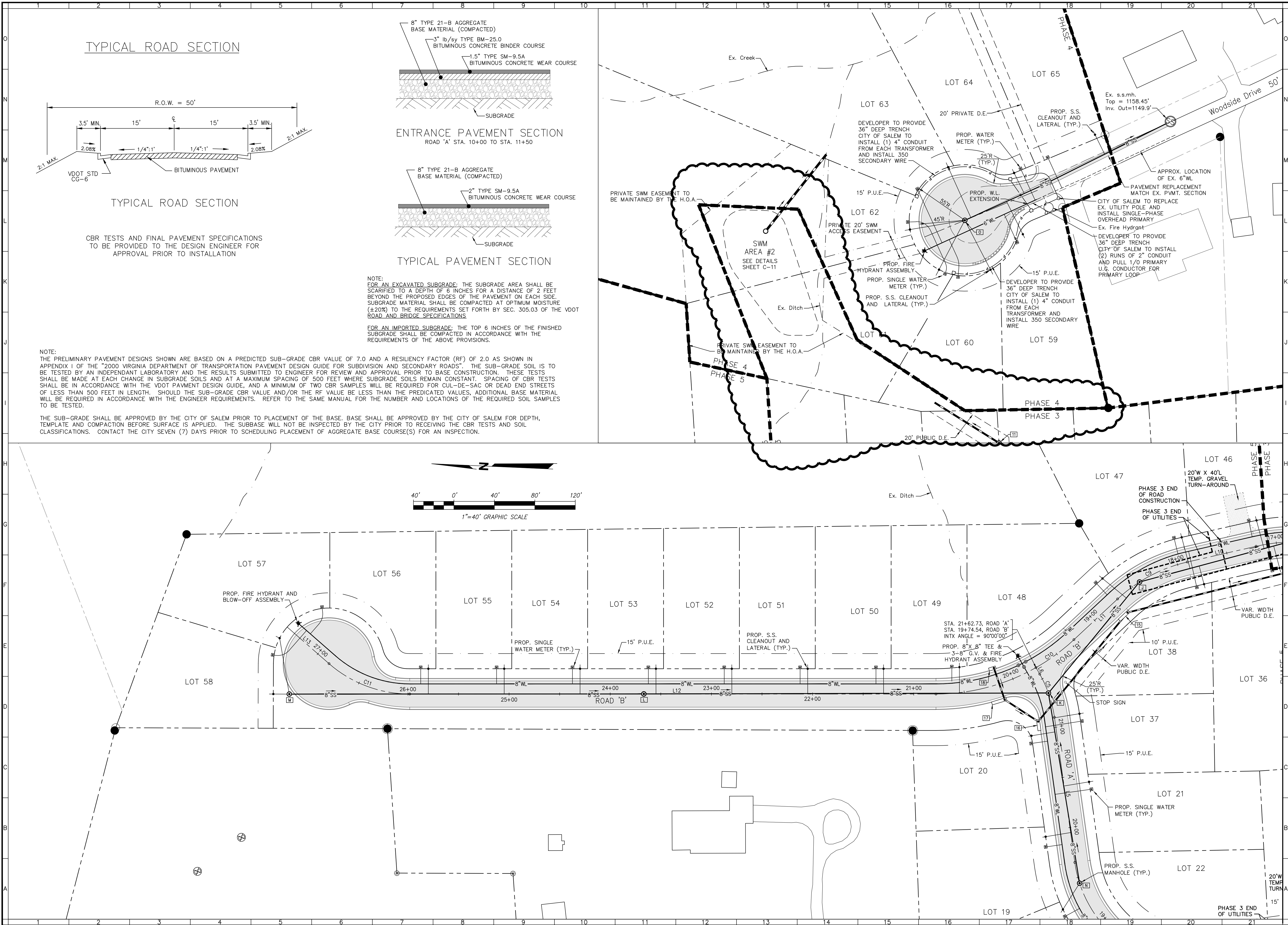
REVISIONS:

07/02/2007
03/14/2008
07/14/2010
09/20/2010
01/18/2013
01/18/2016
06/16/2017
07/22/2021

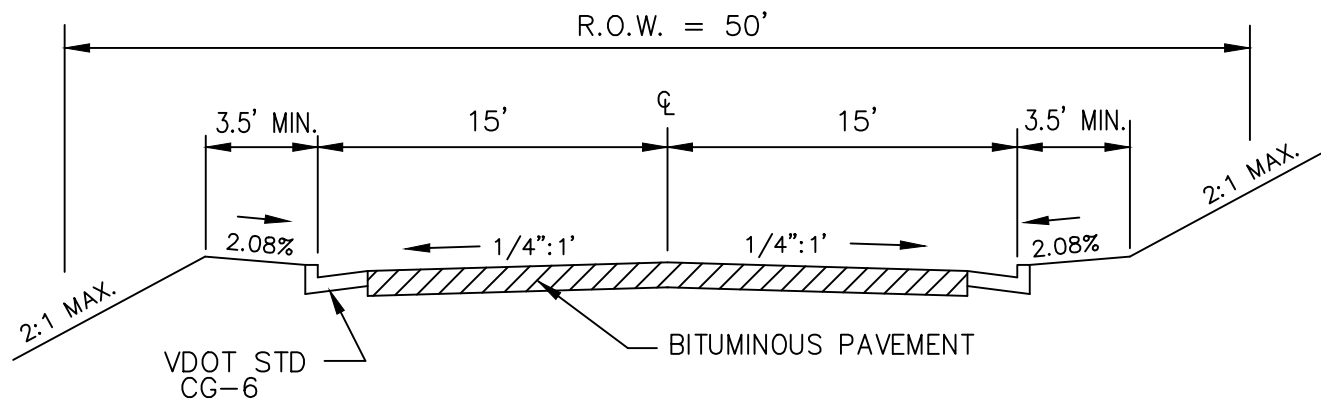
SHEET NO.

C-4

JOB NO. 04170043.00



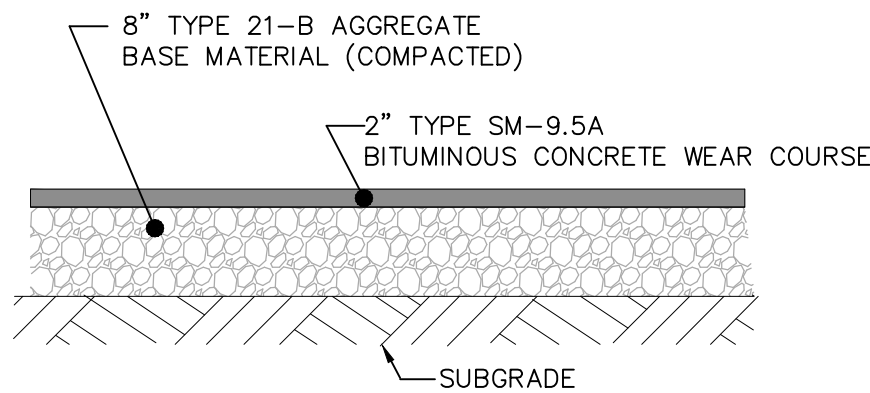
TYPICAL ROAD SECTION



TYPICAL ROAD SECTION

CBR TESTS AND FINAL PAVEMENT SPECIFICATIONS TO BE PROVIDED TO THE DESIGN ENGINEER FOR APPROVAL PRIOR TO INSTALLATION

ENTRANCE PAVEMENT SECTION
ROAD 'A' STA. 10+00 TO STA. 11+50



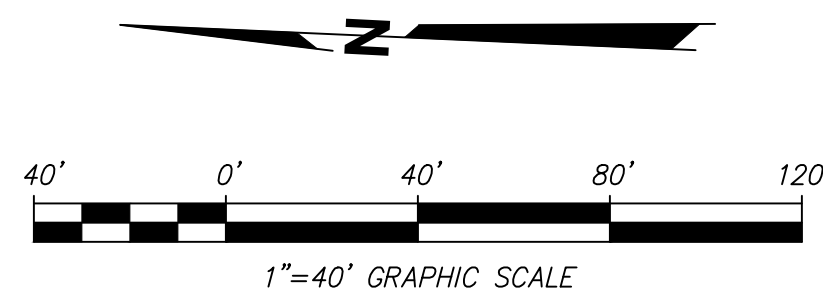
TYPICAL PAVEMENT SECTION

NOTE:
FOR AN EXCAVATED SUBGRADE: THE SUBGRADE AREA SHALL BE SCARIFIED TO A DEPTH OF 6 INCHES FOR A DISTANCE OF 2 FEET BEYOND THE PROPOSED EDGES OF THE PAVEMENT ON EACH SIDE. SUBGRADE MATERIAL SHALL BE COMPACTED AT OPTIMUM MOISTURE (±20%) TO THE REQUIREMENTS SET FORTH BY SEC. 305.03 OF THE VDOT ROAD AND BRIDGE SPECIFICATIONS.

FOR AN IMPORTED SUBGRADE: THE TOP 6 INCHES OF THE FINISHED SUBGRADE SHALL BE COMPACTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ABOVE PROVISIONS.

NOTE:
THE PRELIMINARY PAVEMENT DESIGNS SHOWN ARE BASED ON A PREDICTED SUB-GRADE CBR VALUE OF 7.0 AND A RESILIENCY FACTOR (RF) OF 2.0 AS SHOWN IN APPENDIX I OF THE "2000 VIRGINIA DEPARTMENT OF TRANSPORTATION PAVEMENT DESIGN GUIDE FOR SUBDIVISION AND SECONDARY ROADS". THE SUB-GRADE SOIL IS TO BE TESTED BY AN INDEPENDANT LABORATORY AND THE RESULTS SUBMITTED TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO BASE CONSTRUCTION. THESE TESTS SHALL BE MADE AT EACH CHANGE IN SUBGRADE SOILS AND AT A MAXIMUM SPACING OF 500 FEET WHERE SUBGRADE SOILS REMAIN CONSTANT. SPACING OF CBR TESTS SHALL BE IN ACCORDANCE WITH THE VDOT PAVMENT DESIGN GUIDE, AND A MINIMUM OF TWO CBR SAMPLES WILL BE REQUIRED FOR CUL-DE-SAC OR DEAD END STREETS OF LESS THAN 500 FEET IN LENGTH. SHOULD THE SUB-GRADE CBR VALUE AND/OR THE RF VALUE BE LESS THAN THE PREDICATED VALUES, ADDITIONAL BASE MATERIAL WILL BE REQUIRED IN ACCORDANCE WITH THE ENGINEER REQUIREMENTS. REFER TO THE SAME MANUAL FOR THE NUMBER AND LOCATIONS OF THE REQUIRED SOIL SAMPLES TO BE TESTED.

THE SUB-GRADE SHALL BE APPROVED BY THE CITY OF SALEM PRIOR TO PLACEMENT OF THE BASE. BASE SHALL BE APPROVED BY THE CITY OF SALEM FOR DEPTH, TEMPLATE AND COMPACTION BEFORE SURFACE IS APPLIED. THE SUBBASE WILL NOT BE INSPECTED BY THE CITY PRIOR TO RECEIVING THE CBR TESTS AND SOIL CLASSIFICATIONS. CONTACT THE CITY SEVEN (7) DAYS PRIOR TO SCHEDULING PLACEMENT OF AGGREGATE BASE COURSE(S) FOR AN INSPECTION.



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COMMONWEALTH OF VIRGINIA
Chris R.
CHRISTOPHER P. BURNS
Lic. No. 047338
7/22/21
PROFESSIONAL ENGINEER

THE VILLAGE AT NORTH MILL

DIMENSIONAL PLAN

CITY OF SALEM, VIRGINIA

DRAWN BY CPB
DESIGNED BY CPB
CHECKED BY SMH
DATE 03/30/2007
SCALE 1"=40'

REVISIONS:
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01/18/2013
01/18/2016
06/16/2017
07/22/2021

SHEET NO.
C-5
JOB NO. 04170043.00

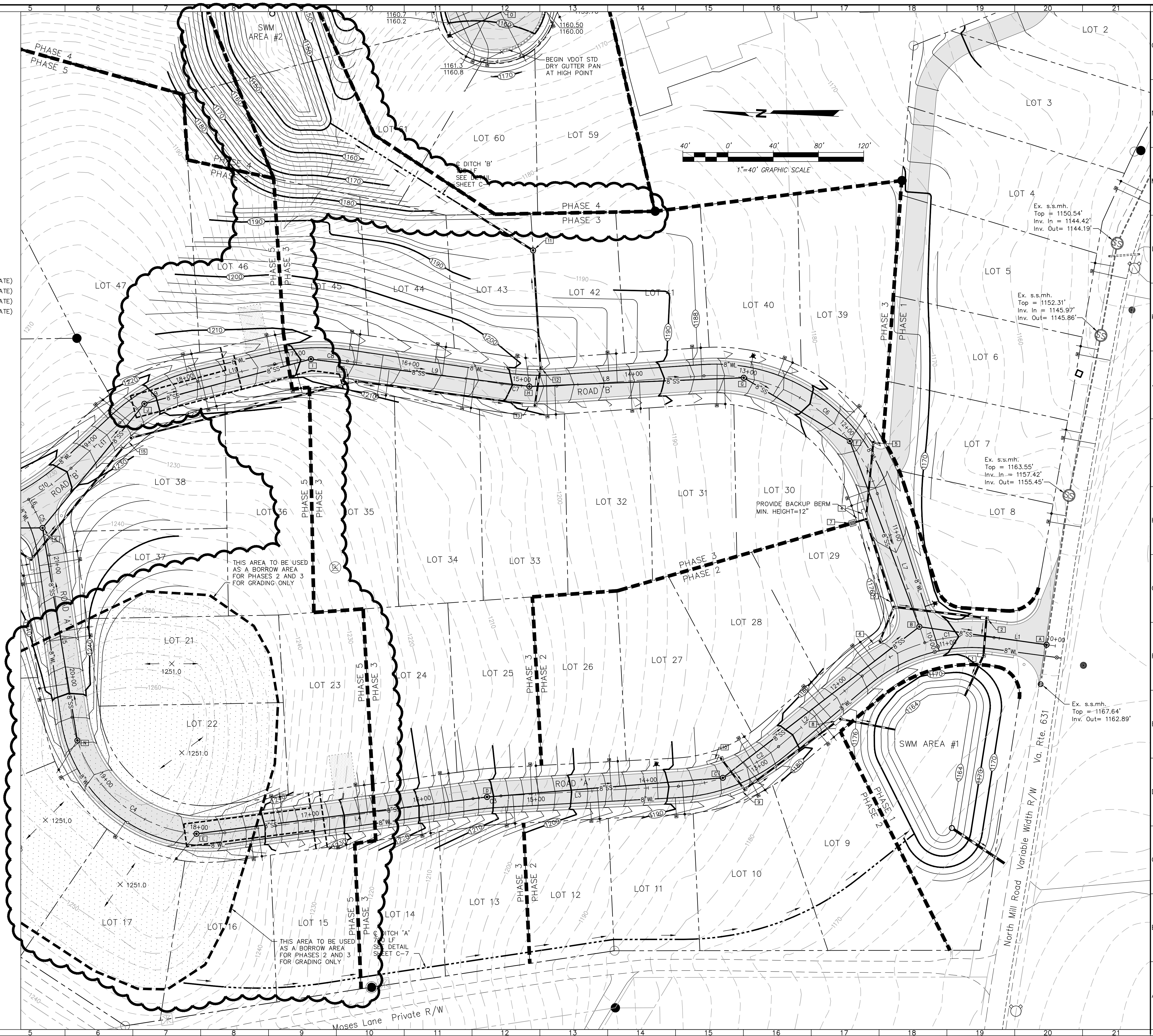
SANITARY SEWER MANHOLE
AND MIN. F.F. ELEVATIONS

| LINE | BEARING | DISTANCE |
|------------|-----------------|----------|
| "A" to "B" | N. 05°33'39" E. | 113.3' |
| "B" to "C" | N. 40°05'09" W. | 219.2' |
| "C" to "D" | N. 07°09'57" W. | 209.2' |
| "D" to "E" | N. 09°44'23" W. | 259.0' |
| "E" to "F" | N. 66°55'57" E. | 175.2' |
| "F" to "G" | N. 28°19'56" E. | 109.3' |
| "G" to "H" | N. 04°51'03" W. | 189.7' |
| "H" to "I" | N. 04°35'55" E. | 194.7' |
| "I" to "J" | N. 17°31'40" W. | 152.5' |
| "J" to "K" | N. 53°09'18" W. | 142.0' |
| "K" to "L" | N. 02°39'05" W. | 400.0' |
| "L" to "M" | N. 02°32'59" W. | 350.5' |
| "M" to "N" | S. 78°10'03" W. | 190.4' |
| "N" to "O" | N. 28°10'24" W. | 225.6' |

| LOT | DOWNSIDE MANHOLE | DIST. | TOP OF S.S. MAIN | MIN. F.F. ELEVATION |
|-----|------------------|-------|------------------|----------------------|
| 1 | ex. | 250.7 | 1135.7 | 1138.7 (APPROXIMATE) |
| 2 | ex. | 25.5 | 1141.1 | 1144.1 (APPROXIMATE) |
| 3 | ex. | 101.5 | 1142.6 | 1145.6 (APPROXIMATE) |
| 4 | ex. | 176.0 | 1143.9 | 1146.9 (APPROXIMATE) |
| 5 | ex. | 23.3 | 1145.5 | 1148.5 |
| 6 | ex. | 15.4 | 1147.7 | 1150.7 |
| 7 | ex. | 90.4 | 1153.8 | 1156.8 |
| 8 | ex. | 20.8 | 1158.8 | 1161.8 |
| 9 | B | 121.9 | 1171.4 | 1174.4 |
| 10 | B | 198.3 | 1176.1 | 1179.1 |
| 11 | C | 39.1 | 1182.3 | 1185.3 |
| 12 | C | 114.1 | 1191.5 | 1194.5 |
| 13 | C | 189.0 | 1200.7 | 1203.7 |
| 14 | D | 56.3 | 1211.4 | 1214.4 |
| 15 | D | 131.6 | 1222.3 | 1225.3 |
| 16 | D | 206.9 | 1233.2 | 1236.2 |
| 17 | E | 0 | 1240.7 | 1243.7 |
| 18 | N | 0 | 1237.7 | 1240.7 |
| 19 | K | 139.6 | 1234.5 | 1237.5 |
| 20 | K | 38.9 | 1228.2 | 1231.2 |
| 21 | K | 96.1 | 1231.8 | 1234.8 |
| 22 | D | 184.0 | 1229.8 | 1232.8 |
| 23 | D | 108.7 | 1219.0 | 1222.0 |
| 24 | D | 33.2 | 1208.1 | 1211.1 |
| 25 | C | 168.9 | 1198.2 | 1201.2 |
| 26 | C | 93.9 | 1189.0 | 1192.0 |
| 27 | B | 184.1 | 1175.2 | 1178.2 |
| 28 | B | 107.7 | 1170.5 | 1173.5 |
| 29 | B | 49.7 | 1166.9 | 1169.9 |
| 30 | B | 126.5 | 1168.8 | 1171.8 |
| 31 | G | 19.8 | 1180.9 | 1183.9 |
| 32 | G | 94.9 | 1186.5 | 1189.5 |
| 33 | G | 169.9 | 1192.1 | 1195.1 |
| 34 | H | 51.0 | 1196.6 | 1199.6 |
| 35 | H | 127.1 | 1200.9 | 1203.9 |
| 36 | I | 18.4 | 1206.1 | 1209.1 |
| 37 | K | 18.0 | 1226.9 | 1229.9 |
| 38 | I | 94.8 | 1211.5 | 1214.5 |
| 39 | F | 0 | 1170.8 | 1173.8 |
| 40 | F | 83.5 | 1177.3 | 1180.3 |
| 41 | G | 39.5 | 1180.4 | 1183.4 |
| 42 | G | 111.9 | 1184.3 | 1187.3 |
| 43 | H | 0 | 1187.7 | 1190.7 |
| 44 | H | 77.5 | 1191.7 | 1194.7 |
| 45 | H | 154.2 | 1195.6 | 1198.6 |
| 46 | I | 25.1 | 1200.4 | 1203.4 |
| 47 | I | 100.8 | 1208.3 | 1211.3 |
| 48 | J | 22.0 | 1215.6 | 1218.6 |
| 49 | K | 88.0 | 1228.3 | 1231.3 |
| 50 | K | 163.0 | 1230.5 | 1233.5 |
| 51 | K | 238.0 | 1232.7 | 1235.7 |
| 52 | L | 57.0 | 1235.3 | 1238.3 |
| 53 | L | 132.0 | 1237.8 | 1240.8 |
| 54 | L | 207.0 | 1240.4 | 1243.4 |
| 55 | M | 0.0 | 1242.3 | 1245.3 |
| 56 | R | 0.0 | 1242.3 | 1245.3 |
| 57 | P | 271.6 | 1241.2 | 1244.2 |
| 58 | P | 196.5 | 1237.1 | 1240.1 |
| 59 | ex. | 180.3 | 1152.5 | 1155.5 |
| 60 | O | 58.6 | 1159.2 | 1162.2 |
| 61 | O | 39.1 | 1157.0 | 1160.0 |
| 62 | O | 0 | 1152.7 | 1155.7 |
| 63 | O | 0 | 1152.7 | 1155.7 |
| 64 | ex. | 161.1 | 1152.3 | 1155.3 |
| 65 | ex. | 72.7 | 1151.4 | 1154.4 |

STATIONS AND OFFSETS ARE MEASURED ALONG A BASELINE FROM CENTER OF MANHOLE TO CENTER OF MANHOLE WITH 0+00.0 BEING THE BEGINNING AT THE LOWER MANHOLE.

THE MIN. FLOOR ELEVATION IS BASED ON SEC. 200.02-2-G-1-H OF THE WESTERN VIRGINIA WATER AUTHORITY WATER & SEWER REGULATIONS. LOT OWNERS REQUESTING A LOWER SERVICE ELEVATION WILL REQUIRE THE USE OF A PRIVATE SEWAGE PUMP FACILITY, INSTALLED AND MAINTAINED BY THE HOMEOWNER.



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CHRISTOPHER P. BURNS
Lic. No. 047338
7/8/21
PROFESSIONAL ENGINEER

THE VILLAGE AT NORTH MILL

GRADING PLAN

CITY OF SALEM, VIRGINIA

DRAWN BY CPB

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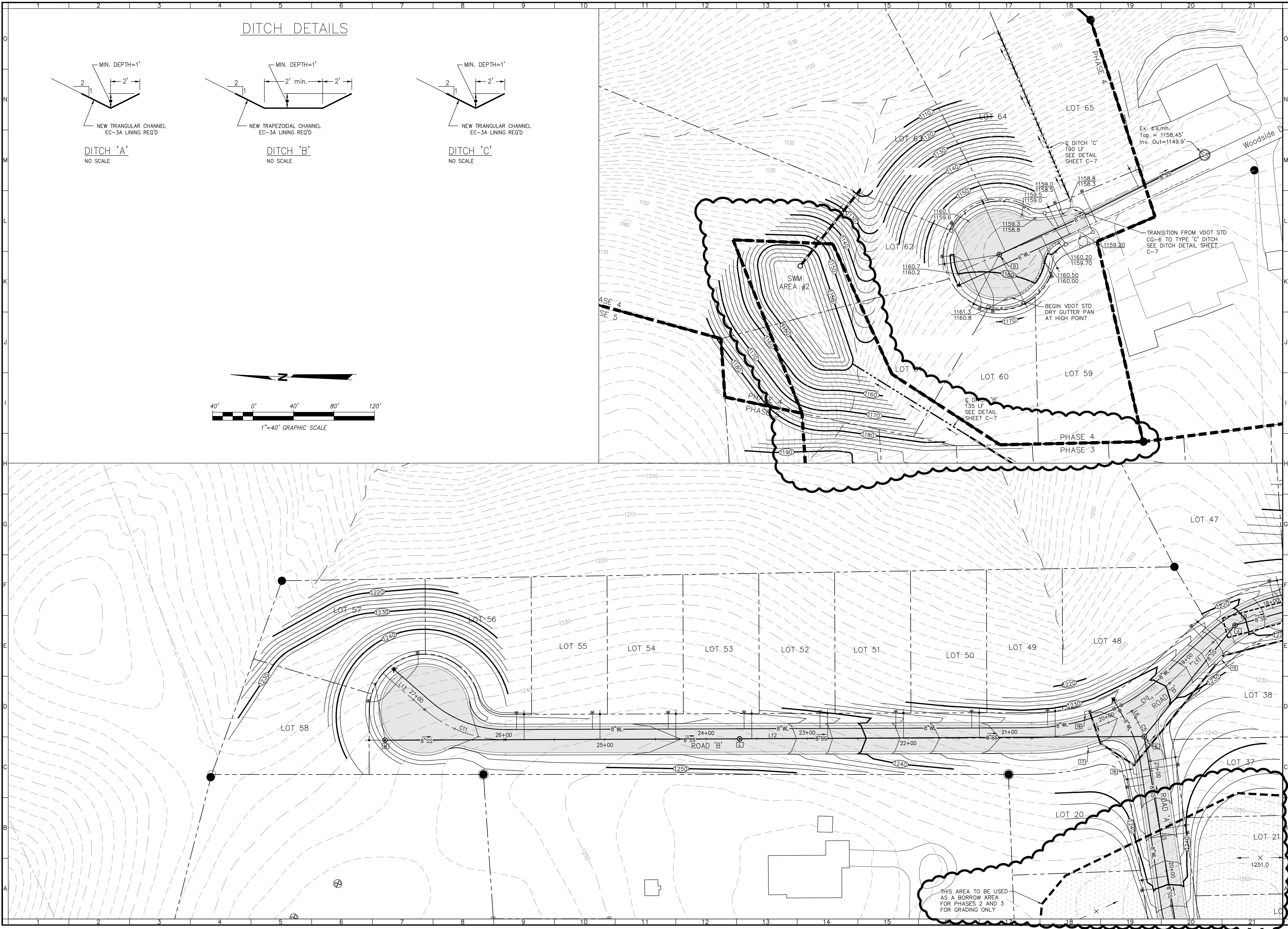
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DATE 03/30/2007

SCALE 1"=40'

REVISIONS:
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03/14/2008
07/14/2010
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SHEET NO.
C-6
JOB NO. 04170043.00



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THE VILLAGE AT NORTH MILL

GRADING PLAN

CITY OF SALEM, VIRGINIA

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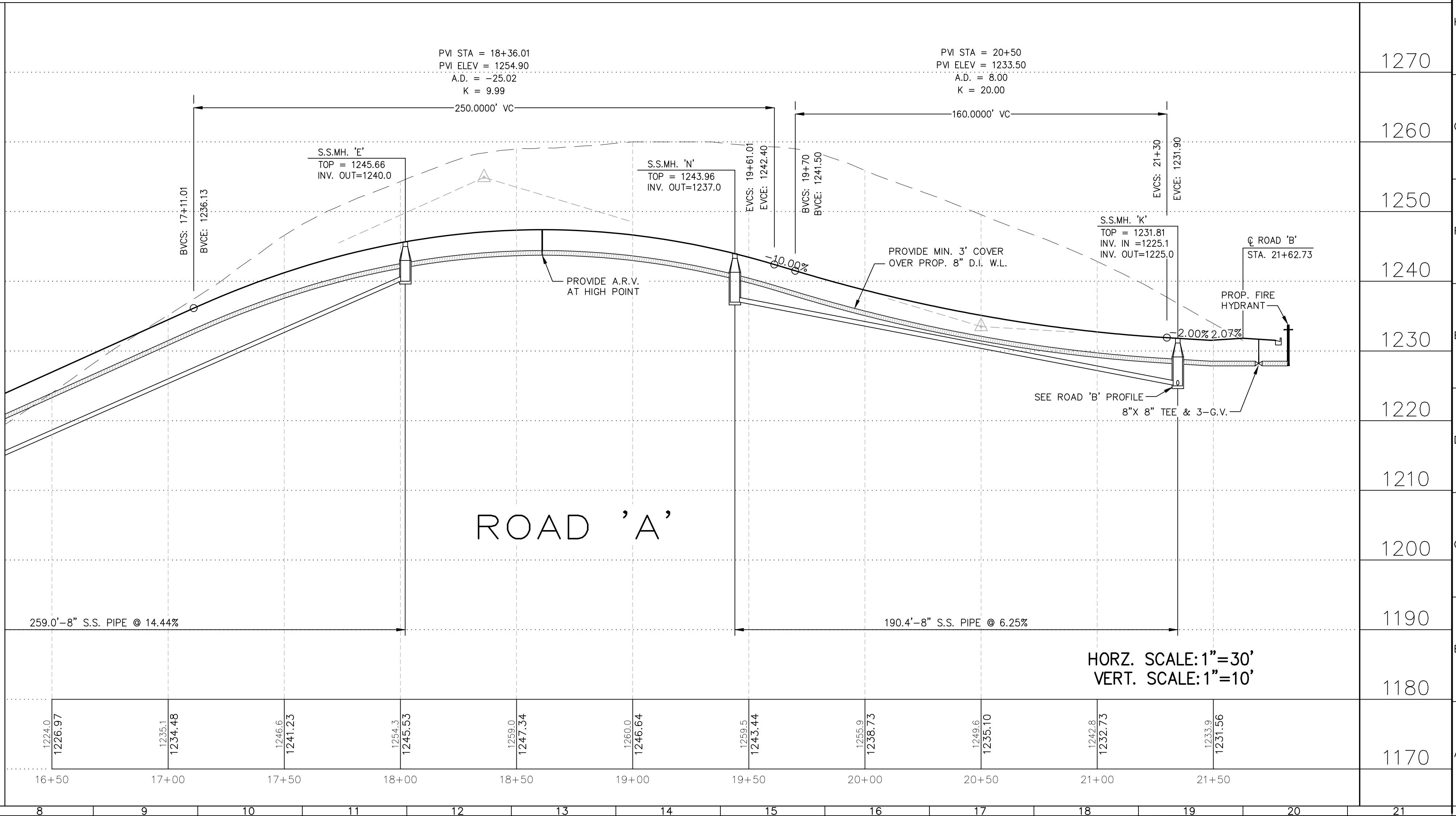
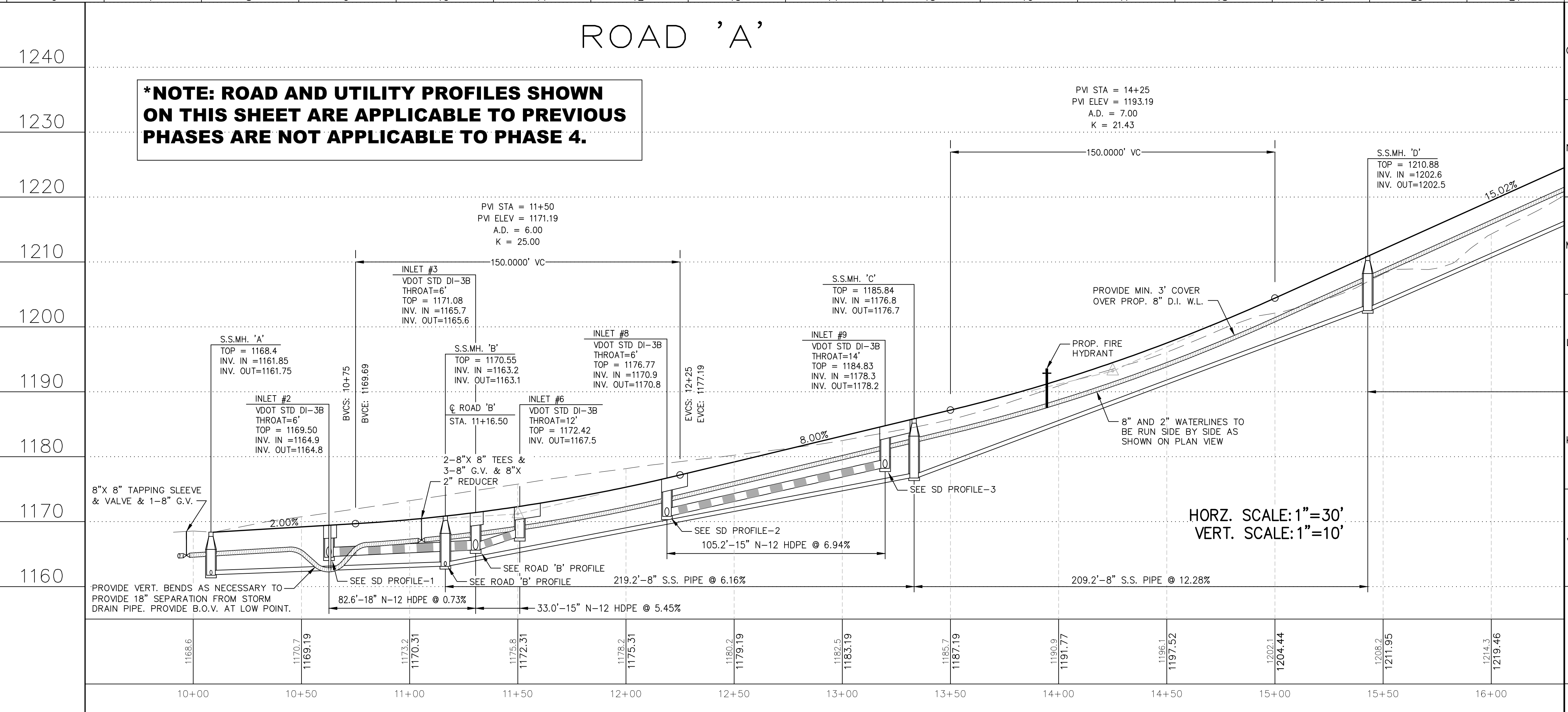
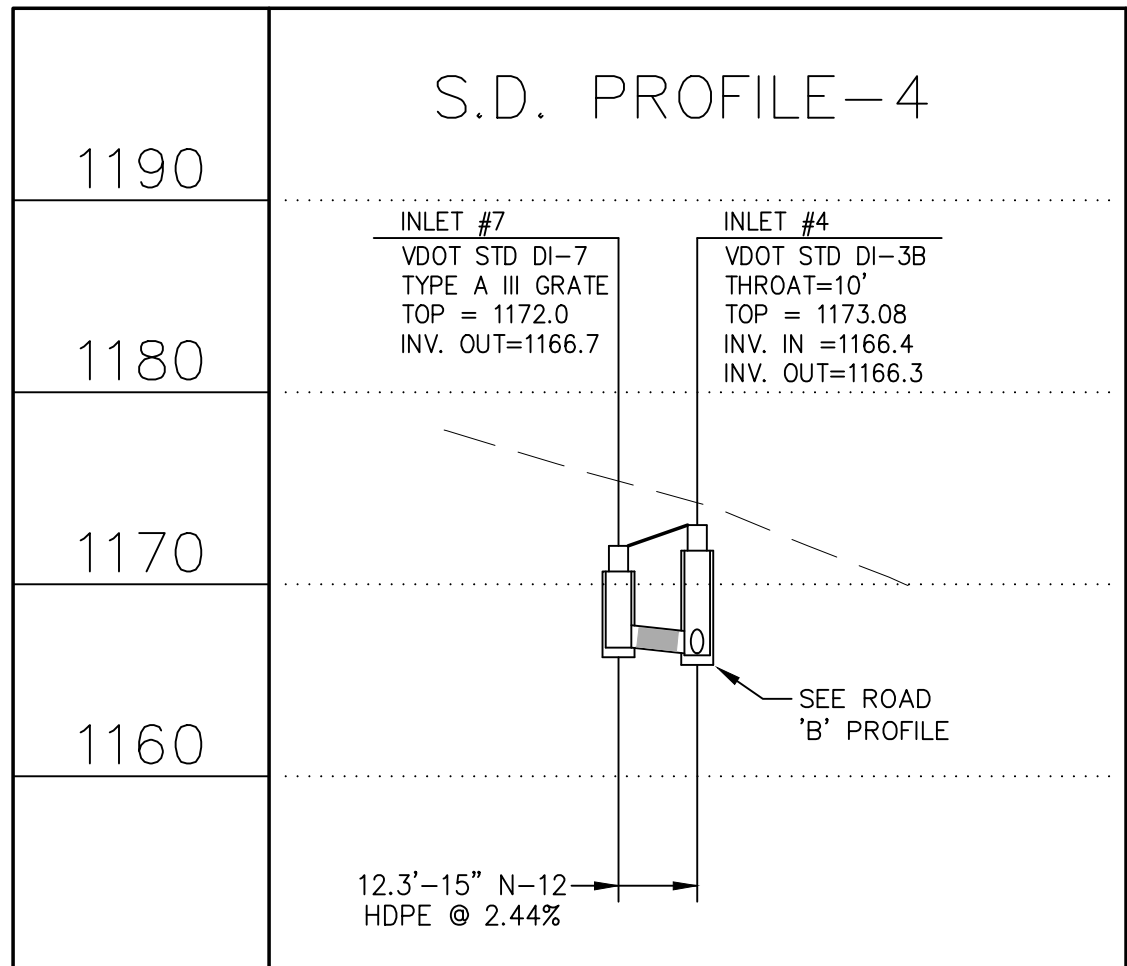
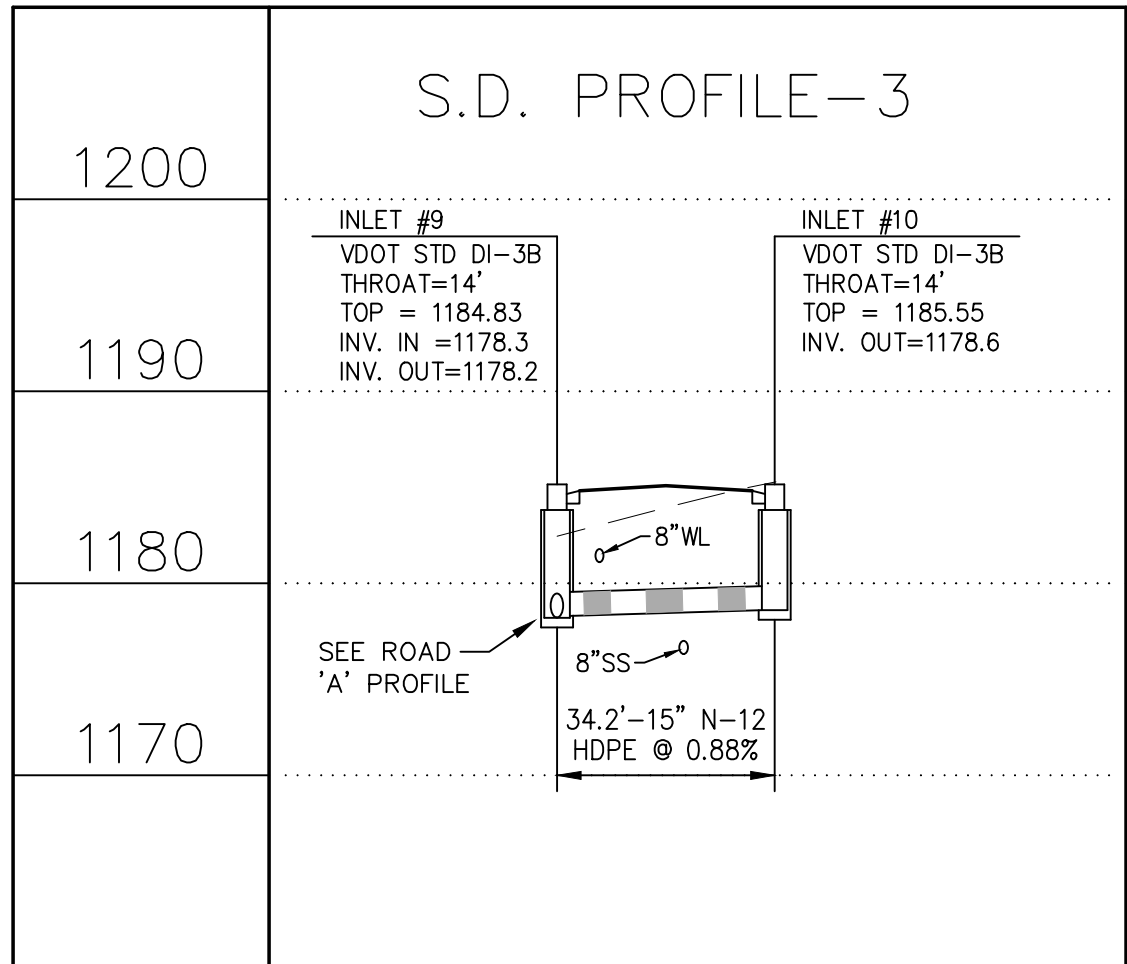
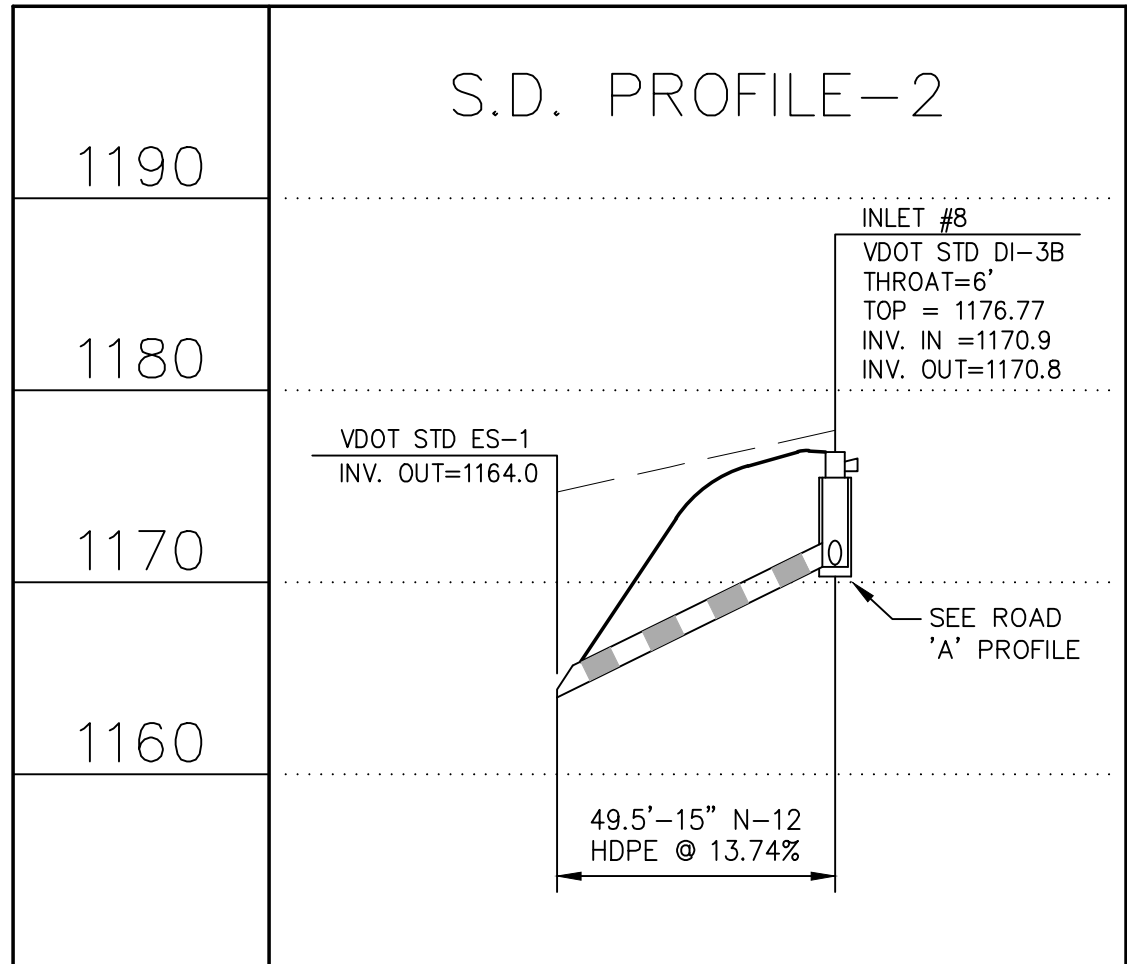
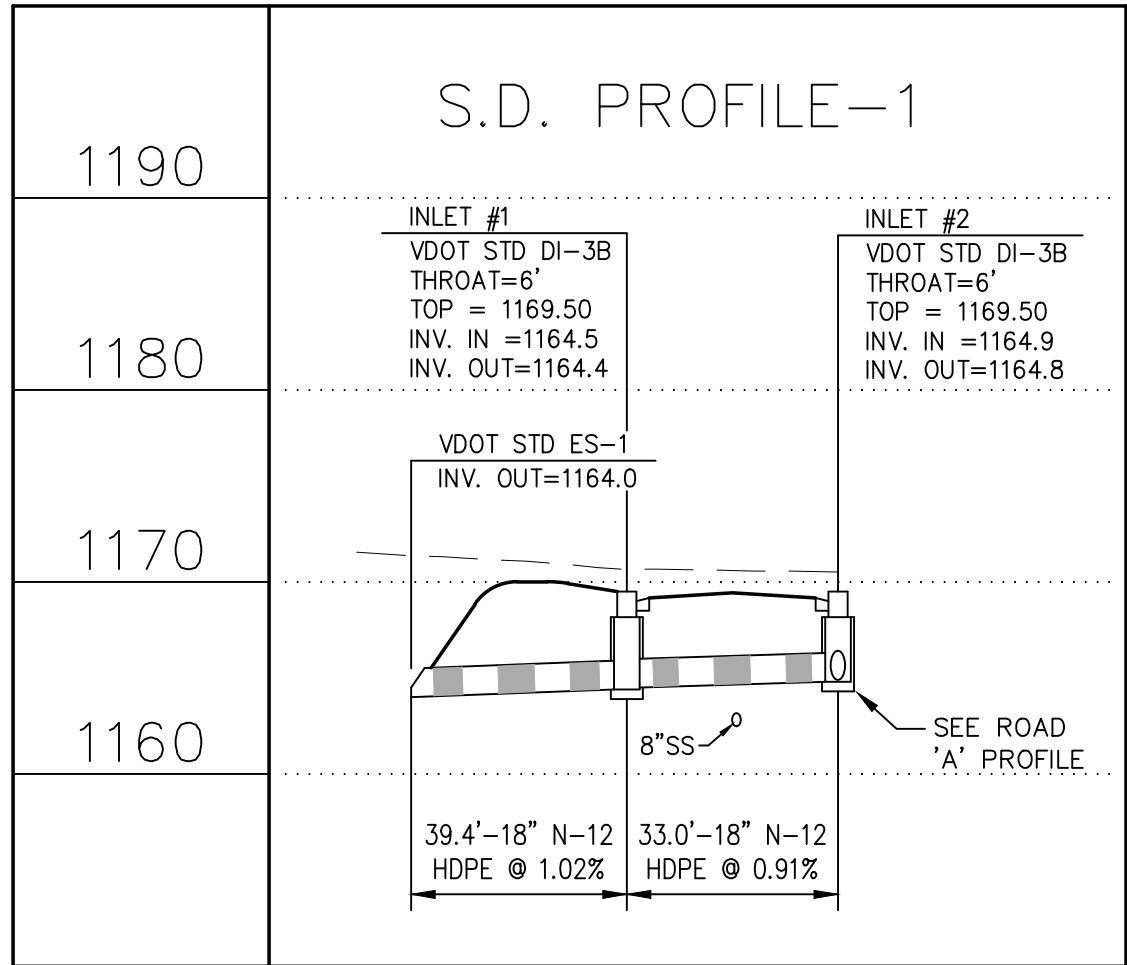
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THE VILLAGE AT NORTH MILL

PROFILES

CITY OF SALEM, VIRGINIA

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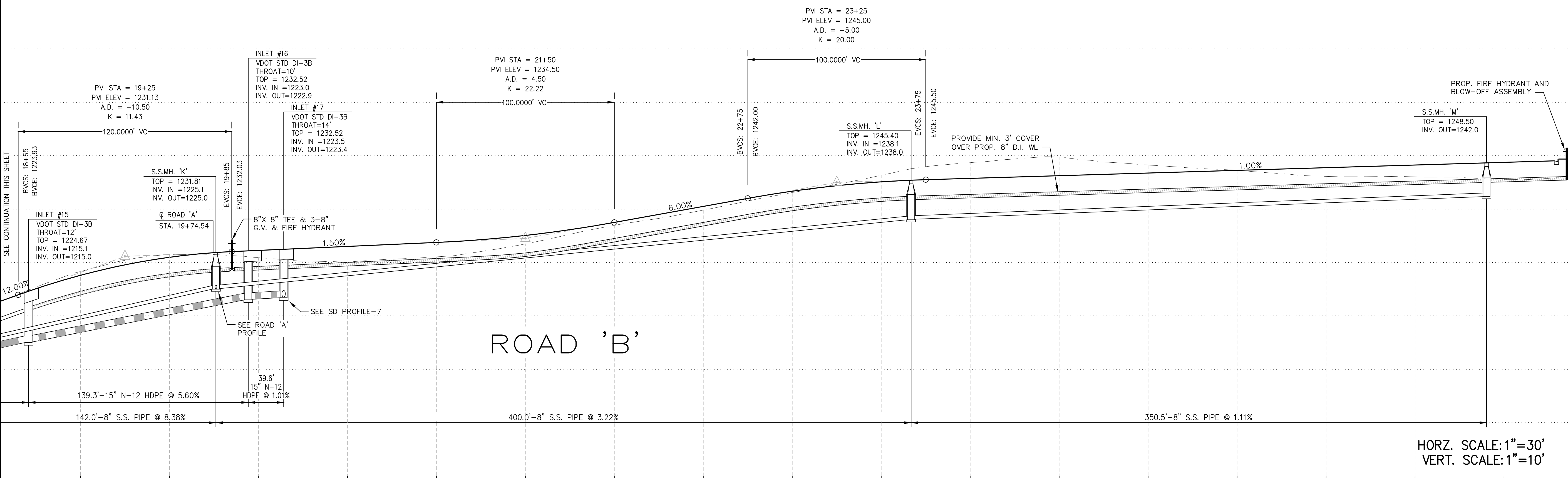
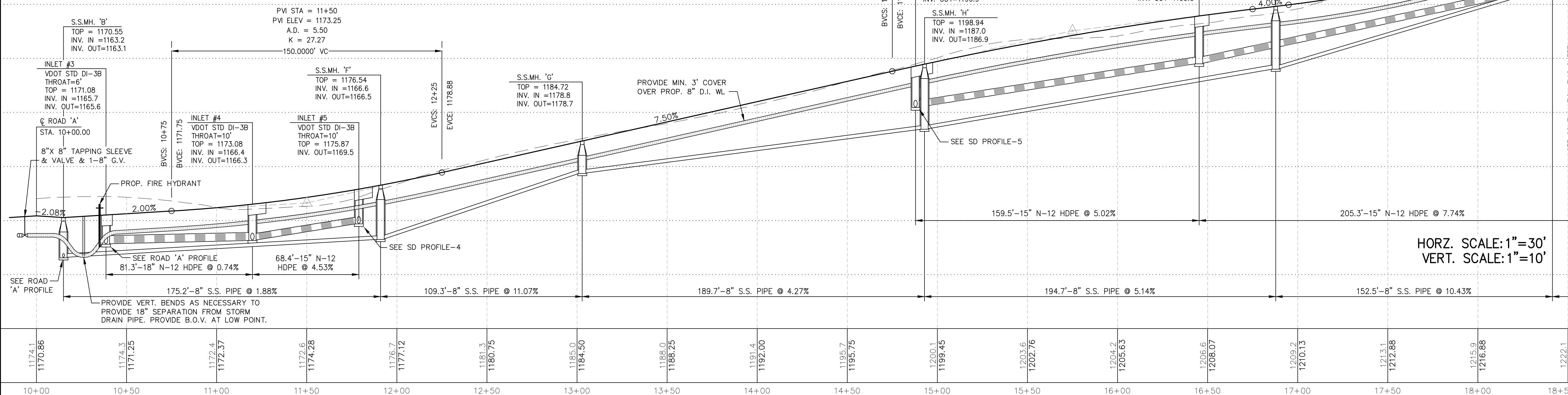
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07/22/2021

SHEET NO.
C-8

JOB NO. 04170043.00

*** NOTE: ROAD PROFILES SHOWN ON THIS SHEET ARE APPLICABLE TO PREVIOUS PHASES ARE NOT APPLICABLE TO PHASE 4.**

ROAD 'B'



HORIZ. SCALE: 1"=30'
VERT. SCALE: 1"=10'

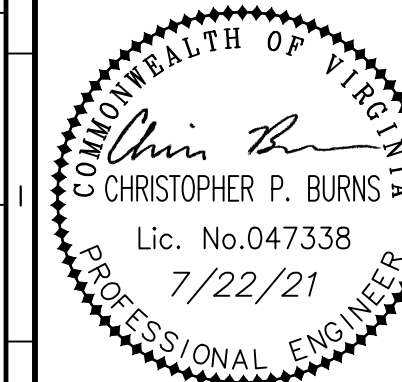
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THE VILLAGE AT NORTH MILL

PROFILES

CITY OF SALEM VIRGINIA

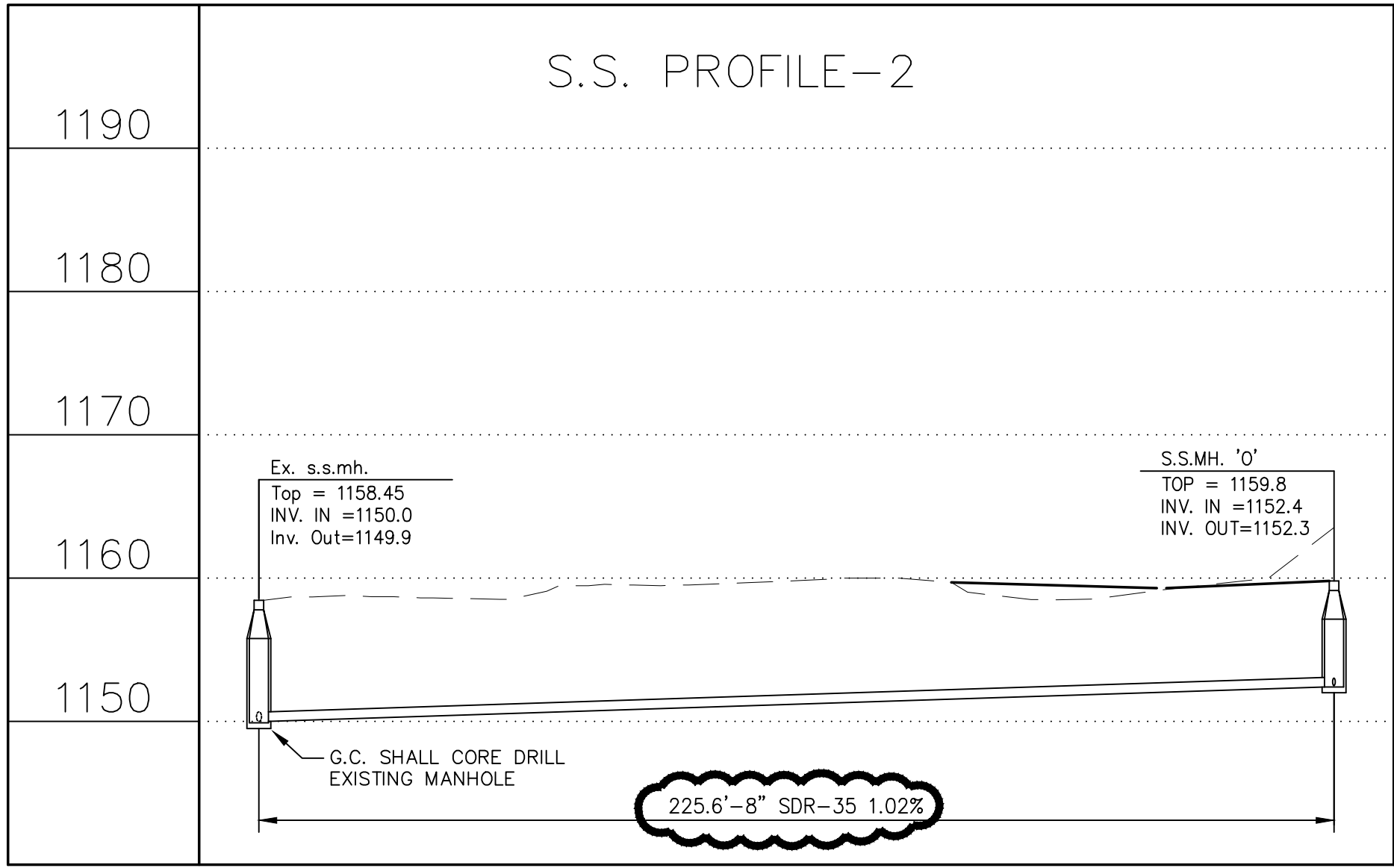
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DATE 03/30/2007
SCALE AS SHOWN

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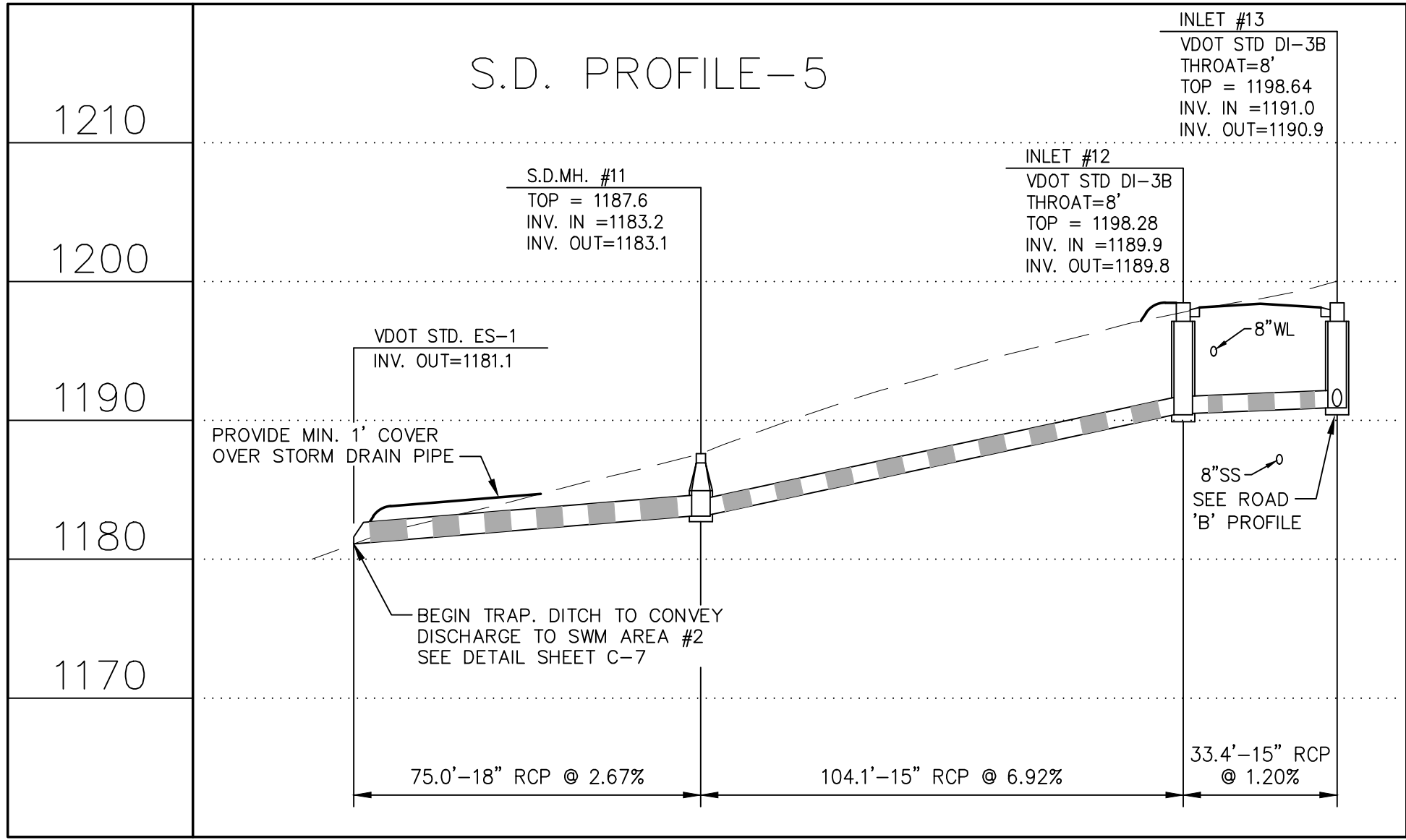
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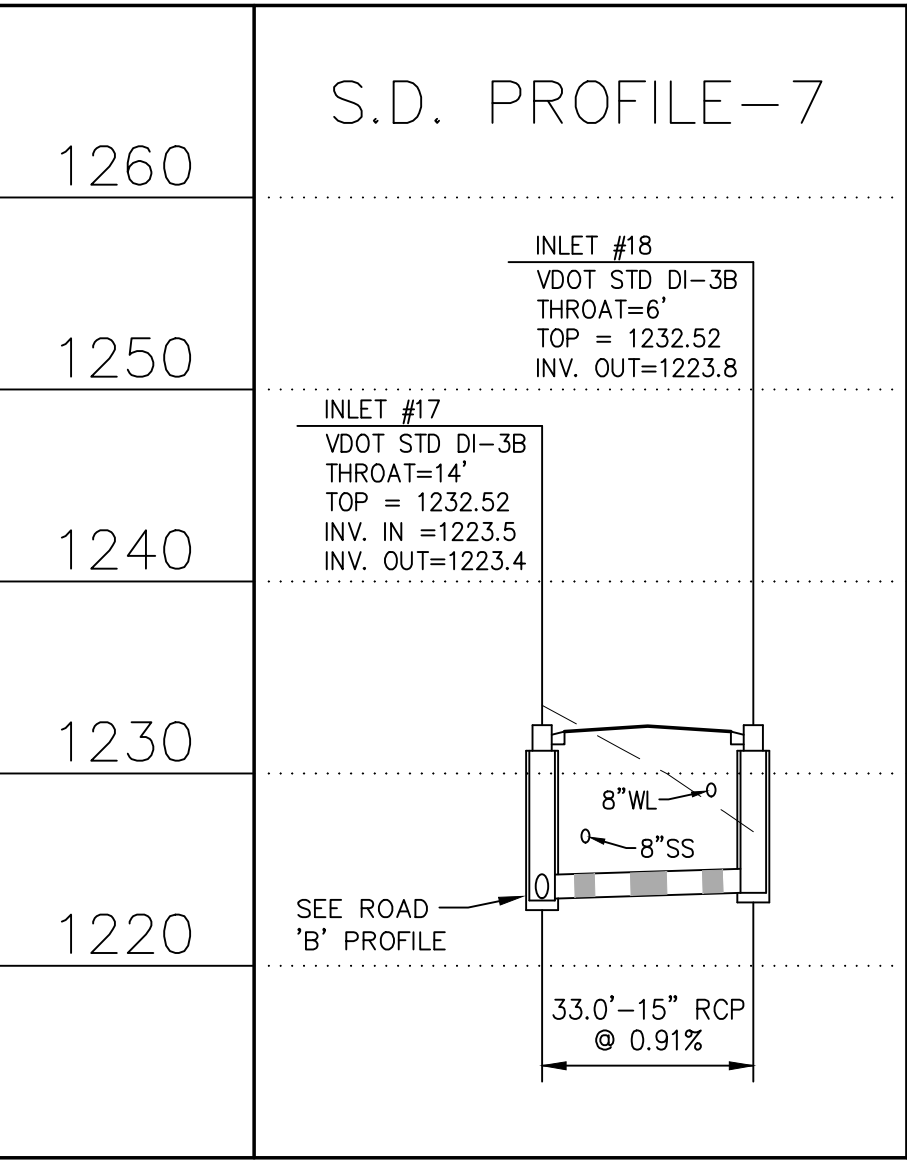
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JOB NO. 04170043.00



HORZ. SCALE: 1"=30'
VERT. SCALE: 1"=10'



HORZ. SCALE: 1"=30'
VERT. SCALE: 1"=10'



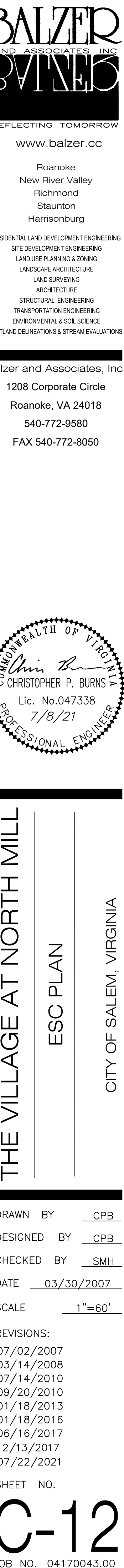
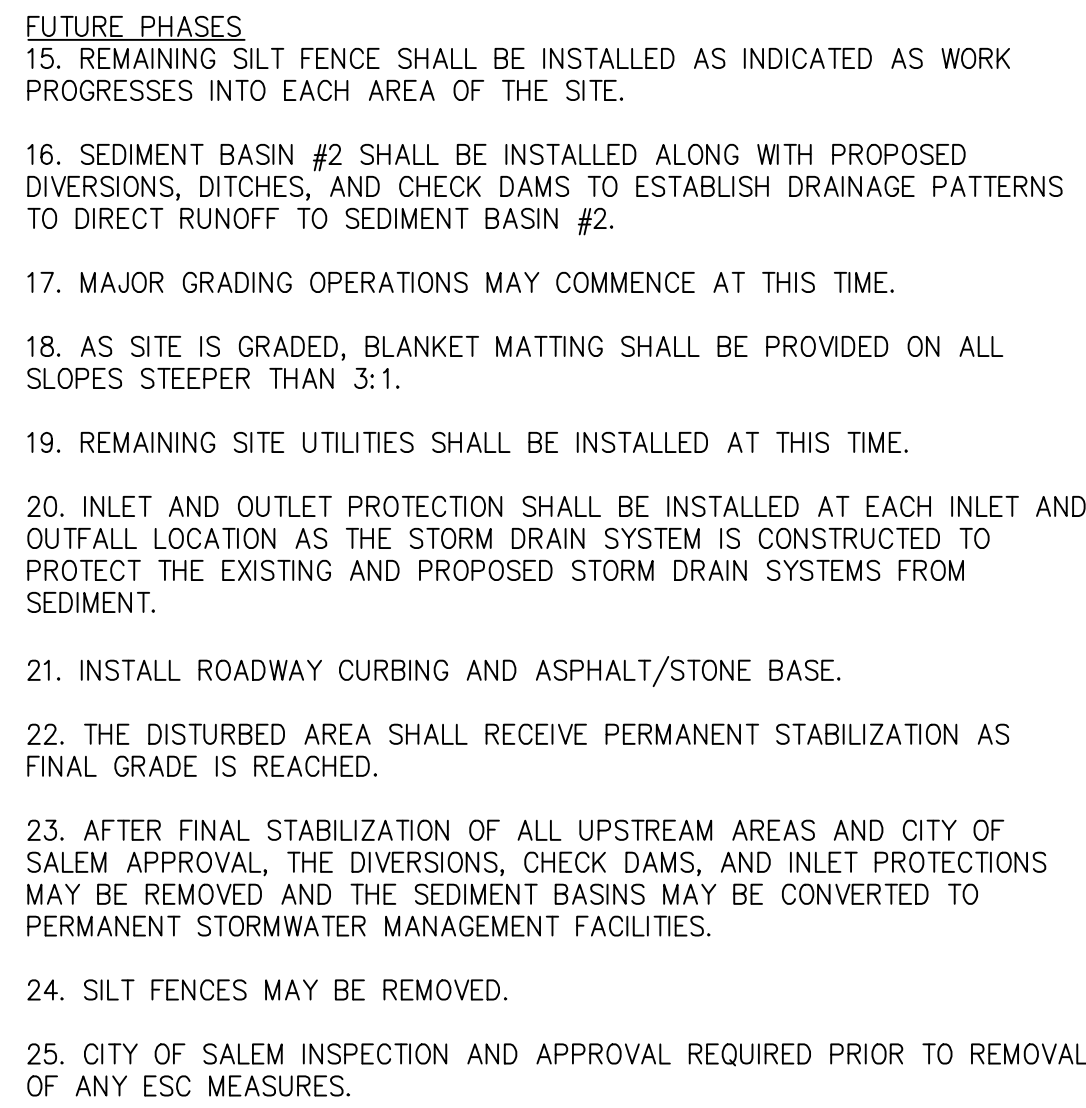
HORZ. SCALE: 1"=30'
VERT. SCALE: 1"=10'

***NOTE: STORM PROFILES #5 AND #7 SHOWN ON THIS SHEET ARE APPLICABLE TO PREVIOUS PHASES ARE NOT APPLICABLE TO PHASE 4.**

1. INSTALL CONSTRUCTION ENTRANCE FROM NORTH MILL ROAD AS FIRST STEP IN CONSTRUCTION.
2. AFTER THE CONSTRUCTION SITE IS ACCESSED, INSTALL SILT FENCE BELOW LOTS 1-8 AND THE SWM LOT TO PROTECT NORTH MILL ROAD FROM SEDIMENT.
3. INSTALL SEDIMENT BASIN #1 AND PROPOSED DIVERSION ABOVE LOTS 1-8. TO DIVERT RUNOFF INTO THE PROPOSED STORMWATER MANAGEMENT POND.
4. MAJOR GRADING OPERATIONS ASSOCIATED WITH THE PHASE 1 LOTS MAY COMMENCE AT THIS TIME.
5. SEDIMENT TRAP, DIVERSION DIKE, AND CONSTRUCTION ROAD STABILIZATION SHALL BE INSTALLED AT THIS TIME.
6. AS SITE IS GRADED, BLANKET MATTING SHALL BE PROVIDED ON ALL SLOPES STEEPER THAN 3:1. TEMPORARY SEEDING SHALL BE APPLIED ON ANY AREA OF THE SITE TO REMAIN DORMANT FOR LONGER THAN 7 DAYS.
7. THE DISTURBED AREA SHALL RECEIVE PERMANENT SEEDING AS FINAL GRADE IS REACHED.

PHASE 2

8. MAJOR GRADING OPERATIONS ASSOCIATED WITH THE PHASE 2 LOTS MAY COMMENCE AT THIS TIME. CHECK DAMS SHALL BE INSTALLED IN THE PROPOSED DITCHLINE AS IT IS GRADED.
9. AS SITE IS GRADED, BLANKET MATTING SHALL BE PROVIDED ON ALL SLOPES STEEPER THAN 3:1. TEMPORARY SEEDING SHALL BE APPLIED ON ANY AREA OF THE SITE TO REMAIN DORMANT FOR LONGER THAN 7 DAYS.
10. THE SITE UTILITIES ASSOCIATED WITH THE PHASE 2 LOTS SHALL BE INSTALLED AT THIS TIME.
11. INLET AND OUTLET PROTECTION SHALL BE INSTALLED AT EACH INLET AND OUTFALL LOCATION AS THE STORM DRAIN SYSTEM IS CONSTRUCTED TO PROTECT THE EXISTING AND PROPOSED STORM DRAIN SYSTEMS FROM SEDIMENT.
12. INSTALL ROADWAY CURBING AND ASPHALT/STONE BASE ASSOCIATED WITH THE PHASE 2 LOTS.
13. PORTION OF DIVERSION DIKE PROVIDED WITH PHASE 1 SHALL BE REMOVED UPON INSTALLATION OF THE STORM DRAIN SYSTEM SO THAT THE DIVERSION DIKE OUTFALLS TO STORM INLET #5.
14. THE DISTURBED AREA SHALL RECEIVE PERMANENT SEEDING AS FINAL GRADE IS REACHED.



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THE VILLAGE AT NORTH MILL

ESC PLAN

CITY OF SALEM, VIRGINIA

| | |
|-------------|------------|
| DRAWN BY | CPB |
| CHECKED BY | CPB |
| DESIGNED BY | SMH |
| DATE | 03/30/2007 |
| SCALE | 1"=60' |

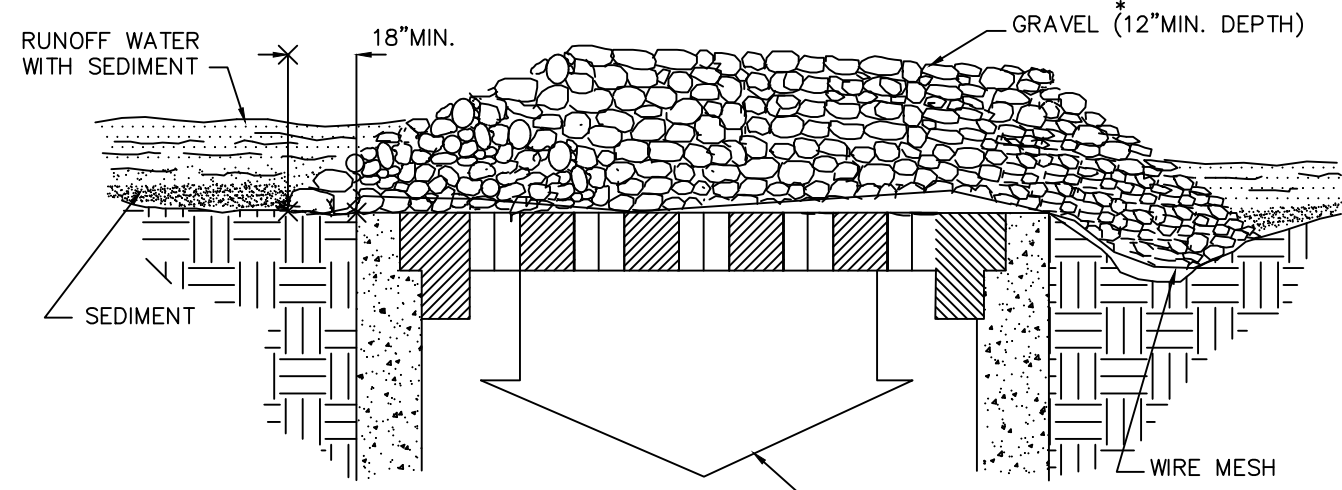
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| 01/18/2013 | |
| 01/18/2016 | |
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| 2/13/2017 | |
| 07/22/2021 | |

SHEET NO.

C-12

OBJ NO. 04170043.00

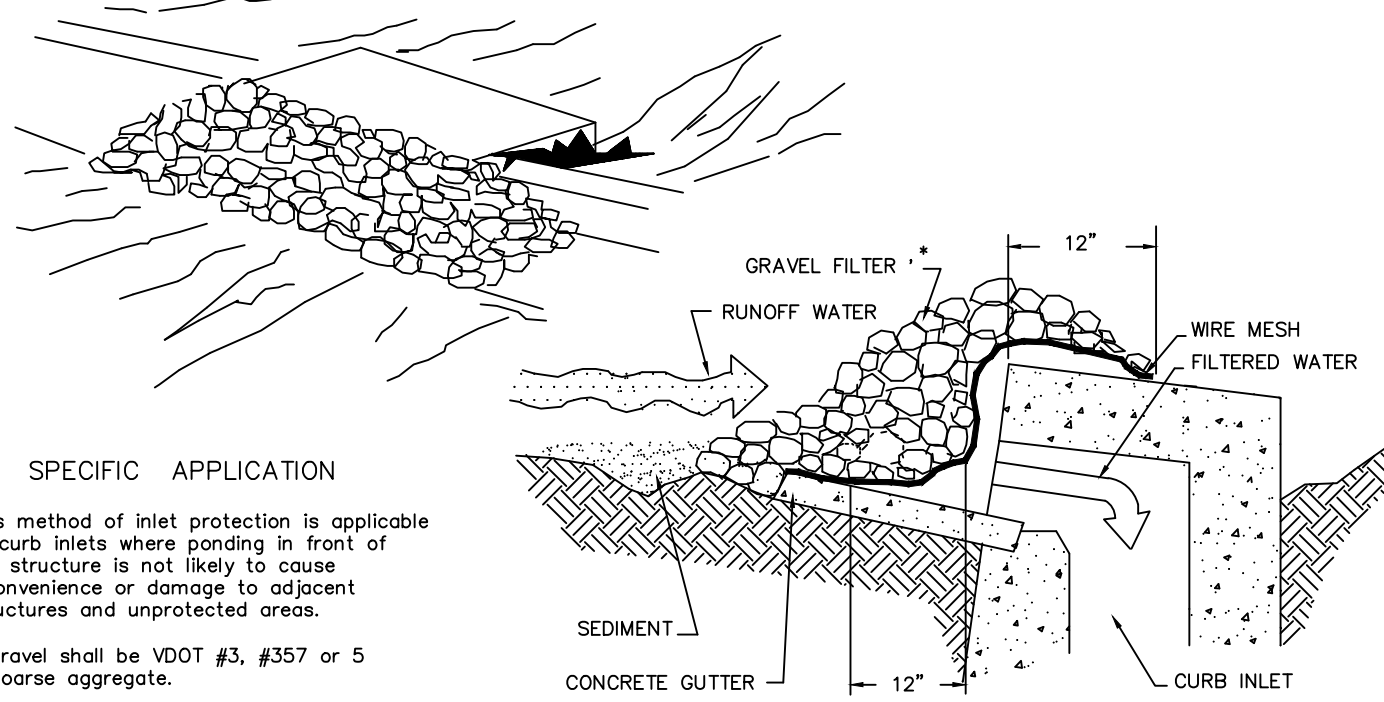


SPECIFIC APPLICATION

This method of inlet protection is applicable where heavy concentrated flows are expected, but not where ponding around the structure might cause excessive inconvenience or damage to adjacent structures and unprotected areas.

* Gravel shall be VDOT #3, #357 or #5 coarse aggregate.

IP GRAVEL AND WIRE MESH DROP INLET SEDIMENT FILTER



SPECIFIC APPLICATION

This method of inlet protection is applicable at curb inlets where ponding in front of the structure is not likely to cause inconvenience or damage to adjacent structures and unprotected areas.

* Gravel shall be VDOT #3, #357 or 5 coarse aggregate.

IP GRAVEL CURB INLET SEDIMENT FILTER

PS PERMANENT SEEDING MIXTURE

| TYPE A | TYPE B (SLOPES 3:1 OR STEEPER) |
|---|---|
| 15 OCTOBER TO 1 FEBRUARY K-31 FESCUE @ 5 LB / 1000 SF BORZY WINTER RYE @ 1/2 LB / 1000 SF | 15 MARCH TO 1 MAY CROWN VETCH @ 1/2 LB / 1000 SF PERENNIAL RYEGRASS @ 1/2 LB / 1000 SF RED TOP @ 1/8 LB / 1000 SF |
| 1 FEBRUARY TO 1 JUNE K-31 FESCUE @ 5 LB / 1000 SF ANNUAL RYE @ 1/2 LB / 1000 SF | 15 AUGUST TO 1 OCTOBER CROWN VETCH @ 1/2 LB / 1000 SF PERENNIAL RYEGRASS @ 1/2 LB / 1000 SF RED TOP @ 1/8 LB / 1000 SF |
| 1 JUNE TO 1 SEPTEMBER K-31 FESCUE @ 5 LB / 1000 SF GERMAN MILLET @ 1/2 LB / 1000 SF | |
| 1 SEPTEMBER TO 15 OCTOBER K-31 FESCUE @ 5 LB / 1000 SF ANNUAL RYE @ 1/2 LB / 1000 SF | |

LIME: 140 LB / 1000 SF PULVERIZED AGRICULTURAL LIMESTONE

MULCH: IF REQUIRED, SHALL BE USED OVER ALL SEEDED AREAS AND SHALL BE APPLIED IN ACCORDANCE WITH SECTION 1.75 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.

SOIL CONDITIONING: INCORPORATION OF LIME AND FERTILIZER, SELECTION OF CERTIFIED SEED, MULCHING, MAINTENANCE OF NEW SEEDLINGS, AND RESEEDING SHALL BE IN ACCORDANCE WITH SPECIFICATIONS CONTAINED WITHIN THE VIRGINIA SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION. ADDITIONAL SEEDING TO BE PERFORMED AS REQUIRED BY THE INSPECTOR.

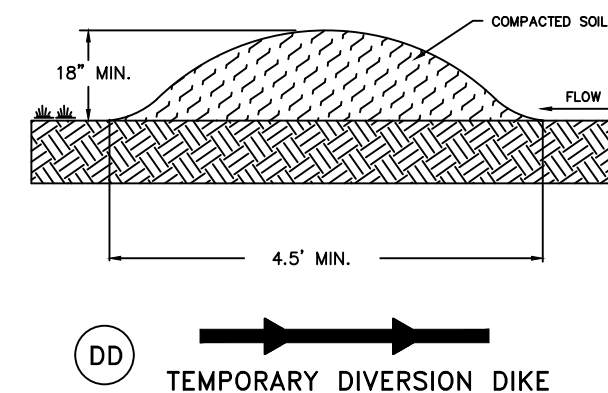
SEED APPLICATION: APPLY SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEDER ON A FIRM, FRIABLE, SEEDBED. MAXIMUM SEEDING DEPTH SHALL BE 1/4 INCH.

TS TEMPORARY SEEDING MIXTURE

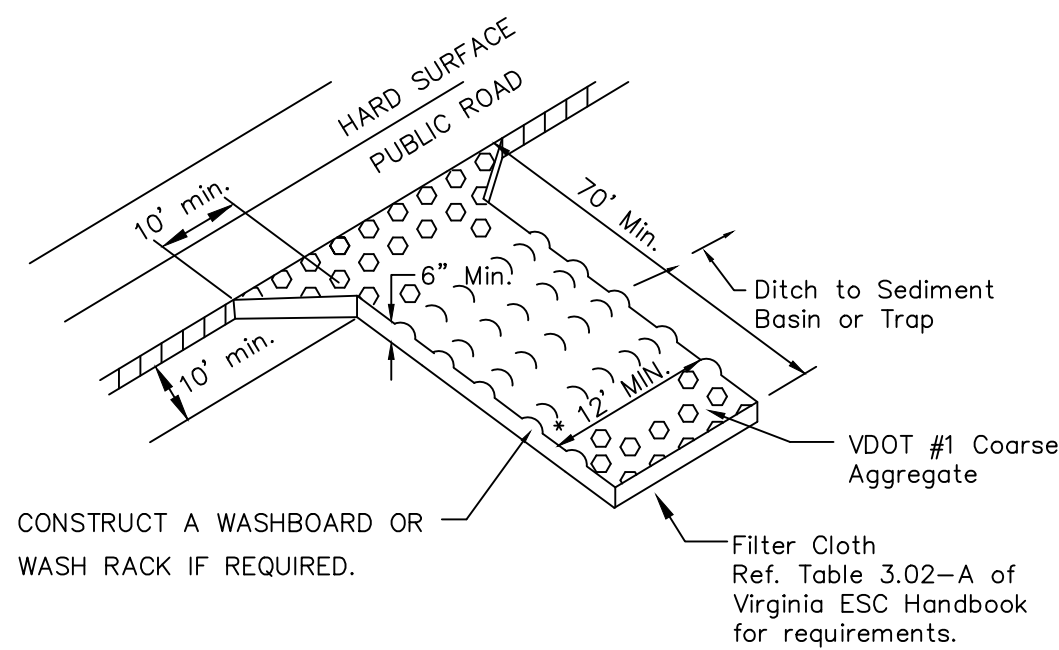
TABLE 3.31 -B
"QUICK REFERENCE FOR ALL REGIONS"

| PLANTING DATES: | SPECIES: | RATE (LB./ACRE) |
|------------------|---|-----------------|
| SEPT. 1- FEB. 15 | 50/50 MIX OF ANNUAL RYEGRASS (LOLIUM MULIFLORUM) & CEREAL (WINTER) RYE (SECALE CEREALE) | 50-100 |
| FEB. 16- APR. 30 | ANNUAL RYEGRASS (LOLIUM MULTI-FLORUM) | 60-100 |
| MAY 1- AUG 31 | GERMAN MILLET (SETARIA ITALICA) | 50 |

Source: Va. DSWC



DD TEMPORARY DIVERSION DIKE

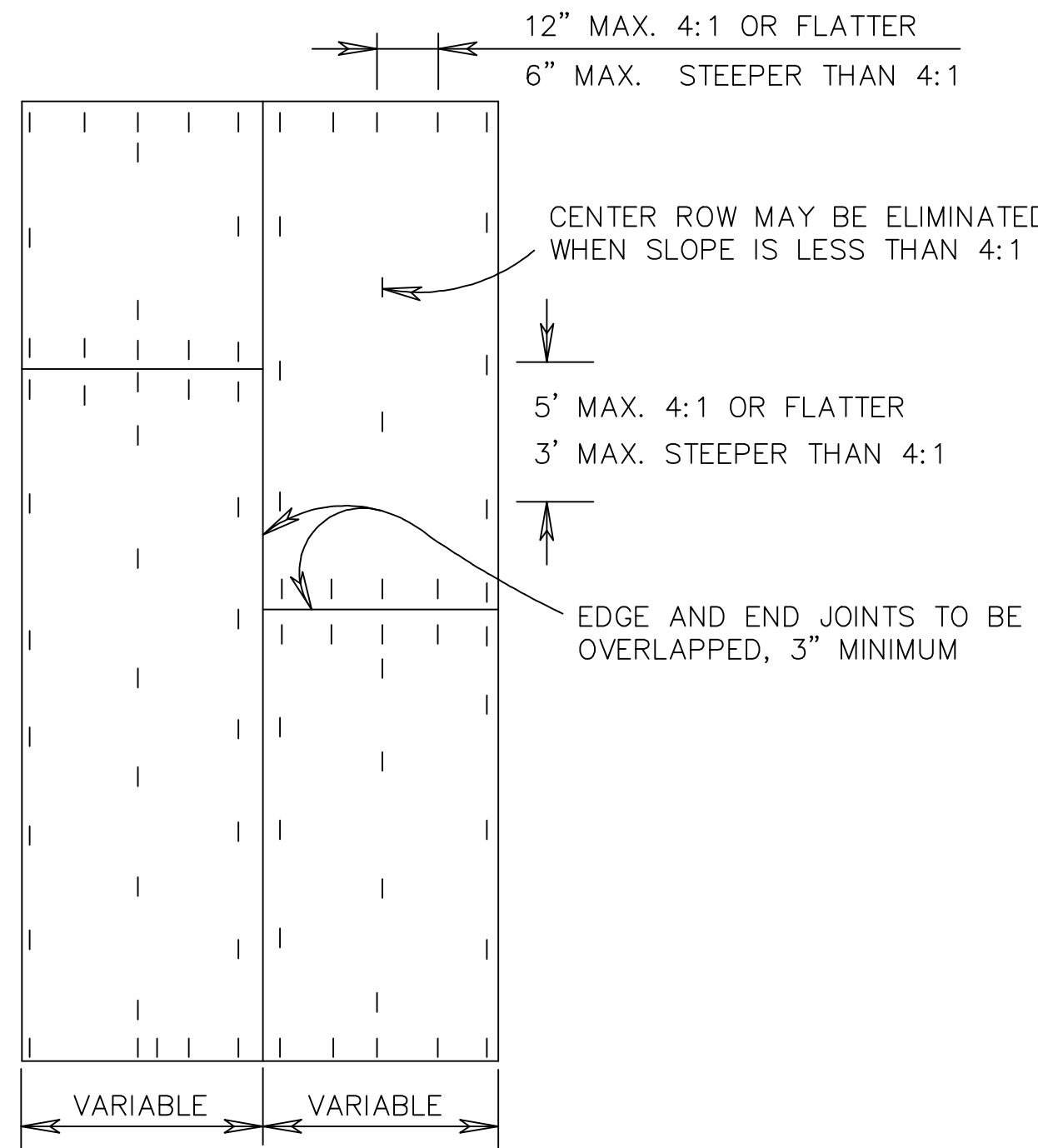


* MUST EXTEND FULL WIDTH OF INGRESS & EGRESS OPERATION.

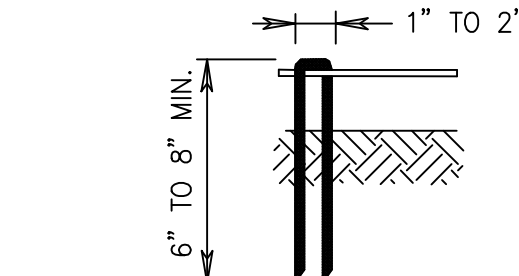
CE TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

B/M SOIL STABILIZATION BLANKET

NOTE: BLANKET MATTING (B/M) TO BE USED ON ALL SLOPES 3:1 OR STEEPER.

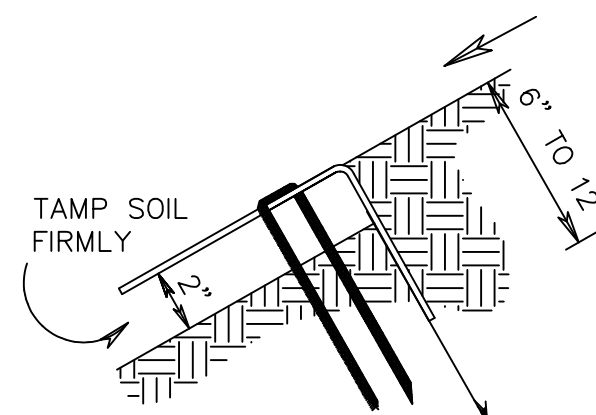


PLAN VIEW

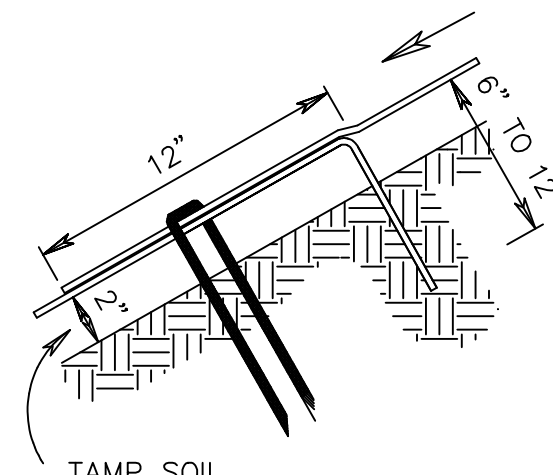


STAPLES FORMED FROM NO. 11 STEEL WIRE
8" STAPLE MIN. LENGTH FOR SANDY SOIL
6" STAPLE MIN. LENGTH FOR OTHER SOIL

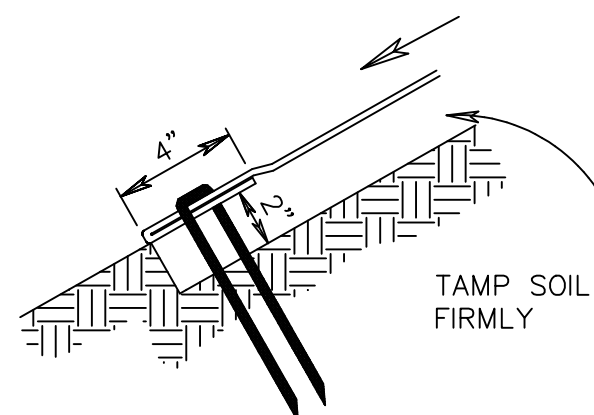
STAPLE DETAIL



ANCHOR SLOT

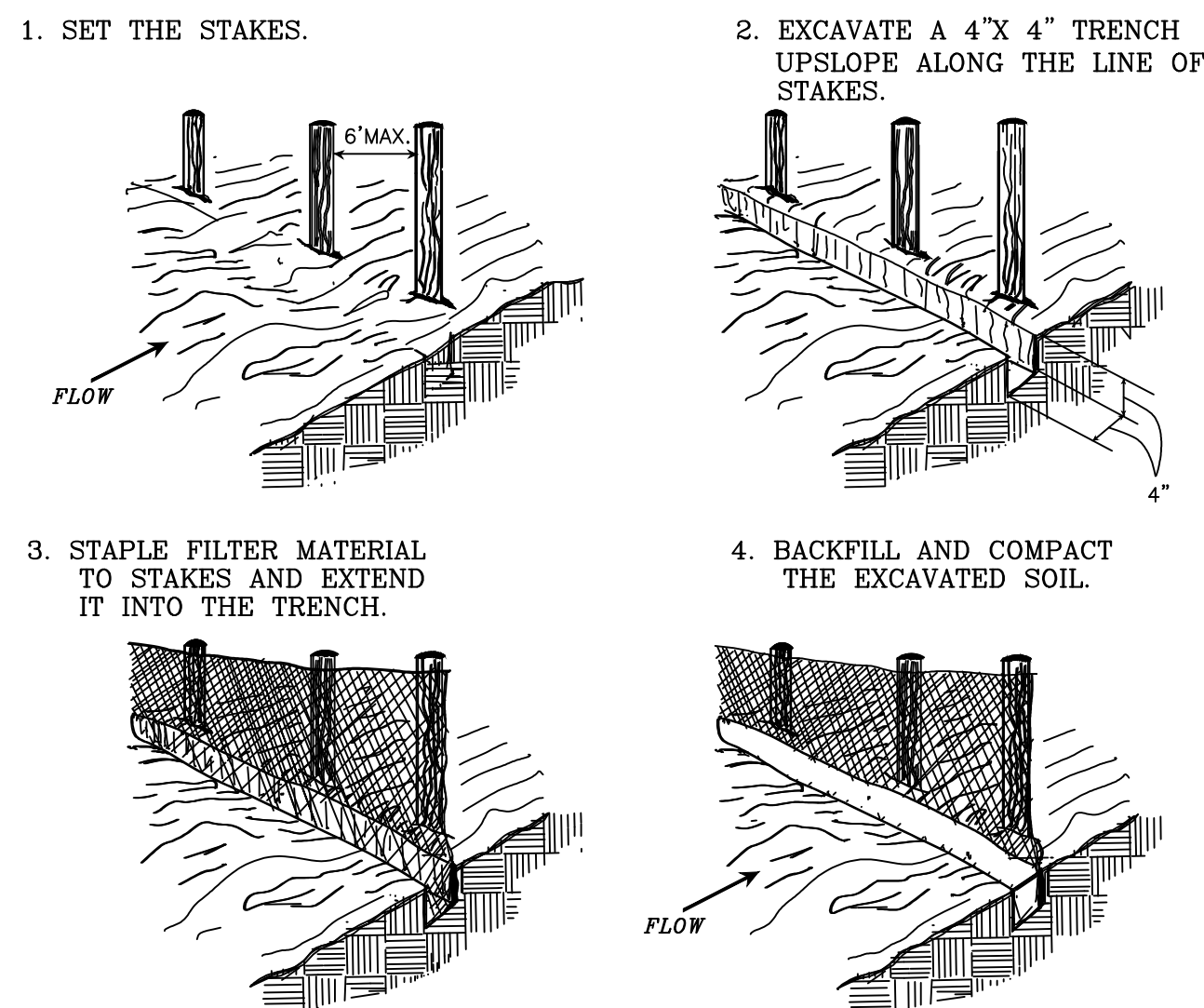


JUNCTION SLOT



TERMINAL FOLD

CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)



EROSION AND SEDIMENT CONTROL NARRATIVE

PROJECT DESCRIPTION: THE PURPOSE OF THIS PROJECT IS THE PREPARATION OF PROPERTY FOR A RESIDENTIAL SUBDIVISION. THE SITE IS LOCATED ALONG NORTH MILL ROAD BETWEEN KESSLER MILL ROAD AND MOSES LANE IN THE CITY OF SALEM, VIRGINIA. THE OVERALL LIMITS OF CLEARING AND GRADING FOR THIS PROJECT IS APPROXIMATELY 19.4 AC. (APPROX. 1.1 ACRES FOR PHASE 4). THE PROPERTY IS CURRENTLY OWNED BY THE DEVELOPER, A.M. COOPER CONSTRUCTION.

EXISTING SITE CONDITIONS: THE EASTERN PART OF THE SITE IS CURRENTLY A MIXTURE OF WOODS AND PASTURE. AN EXISTING HOUSE IS LOCATED IN THE MIDDLE OF THE SITE WITH SEVERAL SMALLER BUILDINGS AROUND IT, ALL OF WHICH WILL BE REMOVED. THERE IS AN EXISTING DRIVEWAY AND FENCE EXTENDING FROM NORTH MILL ROAD TO THE EXISTING HOUSE AND THESE WILL ALSO BE REMOVED.

ADJACENT PROPERTY: THE LIMITS OF CONSTRUCTION ARE BOUNDED ON THE SOUTH BY NORTH MILL ROAD AND ON THE WEST BY MOSES LANE. THE EASTERN BOUNDARY ARE BOUNDED BY PROPERTIES ZONED RESIDENTIAL SINGLE FAMILY AND THE NORTHERN BOUNDARY IS BOUNDED BY PROPERTIES ZONED AGRICULTURAL.

OFF-SITE AREAS: NO OFF-SITE FILL OR BORROW AREAS ARE PROPOSED AT THIS TIME.

SOILS: A SUBSURFACE INVESTIGATION HAS NOT BEEN PROVIDED. SOIL INFORMATION IS AVAILABLE ON THE RESIDUAL SOILS THAT IS SUGGESTED IN THE "SOIL SURVEY OF ROANOKE COUNTY AND THE CITIES OF ROANOKE AND SALEM, VIRGINIA" AS PREPARED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE. THIS SURVEY IDENTIFIES THE ORIGINAL SOIL MATERIAL AS A GILPIN LOAM. GILPIN SOIL HAS THE FOLLOWING CHARACTERISTICS: 1) WELL DRAINED 2) 1" OF TOPSOIL 3) +/- 3" OF A LOAM BASE 4) MODERATE PERMEABILITY 5) RAPID SURFACE RUN-OFF AND 6) HIGH EROSION POTENTIAL.

CRITICAL EROSION AREAS: ALL AREAS WHERE SLOPES ARE GREATER THAN 3:1 SHOULD BE DEEMED CRITICAL, ESPECIALLY THOSE NEAR EXISTING HOUSES AND/OR CREEKS. EXTRA CARE SHOULD BE TAKEN IN THESE AREAS TO BE SURE THAT ALL NECESSARY EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED PROPERLY.

EROSION AND SEDIMENT CONTROL MEASURES: UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE "VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, THIRD EDITION" (VESCH). THE MINIMUM STANDARDS OF THE VESCH SHALL BE ADHERED TO UNLESS OTHERWISE DIRECTED BY THE LOCAL PROGRAM ADMINISTRATOR.

STRUCTURAL

CONSTRUCTION ENTRANCE-STD. 3.02.....A STONE PAD, LOCATED AT THE INTERSECTION OF COBBLE RUN AND COBBLE LANE (IF PAVED) OR AT OTHER POINTS OF VEHICULAR INGRESS AND EGRESS TO THE CONSTRUCTION SITE, TO REDUCE THE SOIL TRANSPORTED ONTO PUBLIC ROADS AND OTHER PAVED AREAS.

CONSTRUCTION ROAD STABILIZATION-STD. 3.03.....THE TEMPORARY STABILIZATION OF ACCESS ROADS, TEMPORARY OR PERMANENT, WITH STONE AFTER GRADING TO REDUCE EROSION CAUSED BY VEHICLES DURING WET WEATHER.

SILT FENCE-STD. 3.05.....A TEMPORARY BARRIER CONSTRUCTED ALONG THE PERIMETER OF THE DISTURBED AREA AS REQUIRED TO INTERCEPT AND DETAIN SEDIMENT.

STORM DRAIN INLET PROTECTION-STD. 3.07.....A SEDIMENT FILTER OR AN EXCAVATED IMPOUNDING AREA AROUND A STORM DRAIN DROP INLET OR CURB INLET TO PREVENT SEDIMENT FROM ENTERING STORM DRAINAGE SYSTEMS.

DIVERSION DIKE-STD. 3.09.....A RIDGE OF COMPACTED SOIL CONSTRUCTED AT THE TOP OR BASE OF A SLOPING DISTURBED AREA WHICH DIVERTS OFF-SITE RUNOFF AWAY FROM UNPROTECTED SLOPES AND TO A STABILIZED OUTLET OR TO DIVERT SEDIMENT LADEN RUNOFF TO SEDIMENT TRAPPING STRUCTURE.

RIGHT-OF-WAY DIVERSION-STD. 3.11.....A RIDGE OF COMPACTED SOIL OR LOOSE ROCK OR GRAVEL CONSTRUCTED ACROSS DISTURBED RIGHTS-OF-WAY TO SHORTEN THE FLOW LENGTH WITHIN A SLOPING RIGHT-OF-WAY.

SEDIMENT BASIN-STD. 3.13.....A TEMPORARY BARRIER OR DAM WITH A CONTROLLED STORMWATER RELEASE STRUCTURE TO DETAIN SEDIMENT-LADEN RUNOFF FROM DISTURBED AREAS LONG ENOUGH FOR THE MAJORITY OF SEDIMENT TO SETTLE OUT.

RIP RAP-STD. 3.19.....A PERMANENT, EROSION-RESISTANT GROUND COVER OF LARGE, LOOSE, ANGULAR STONE WITH FILTER FABRIC TO PROTECT SOIL FROM THE EROSION FORCES OF CONCENTRATED RUNOFF.

ROCK CHECK DAM-STD. 3.20.....SMALL TEMPORARY STONE DAMS CONSTRUCTED ACROSS A SWALE OR DRAINAGE DITCH TO REDUCE THE VELOCITY OF CONCENTRATED STORMWATER FLOWS.

VEGETATIVE

TOPSOILING-STD. 3.30.....TOPSOIL SHALL BE REMOVED FROM WITHIN THE LIMITS OF THE PROJECT AND STORED FOR LATER USE. AFTER GRADING OPERATIONS ARE COMPLETE, TOPSOIL MATERIAL SHALL BE PLACED ALONG THE TOP OF THE EMBANKMENT AND AT ADDITIONAL AREAS WITHIN THE POND AREAS TO STABILIZE THE SIDE SLOPES, ETC.

TEMPORARY SEEDING-STD. 3.31.....ESTABLISHMENT OF A TEMPORARY VEGETATIVE COVER ON DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE FOR PERIODS OF 30 DAYS TO 1-YEAR BY SEEDING WITH AN APPROPRIATE RAPIDLY GROWING SEED MIXTURE.

PERMANENT SEEDING-STD. 3.32.....ESTABLISHMENT OF A VEGETATIVE COVER BY PLANTING SEED ON ALL FINAL GRADED AREAS THAT WILL NOT RECEIVE AN IMPERVIOUS COVER OR RECEIVE TOPSOIL MATERIAL TO PROVIDE A STABILIZED SITE AFTER THE PROJECT IS COMPLETE.

MULCHING-3.35.....MULCH SHALL BE APPLIED TO ALL TEMPORARY AND PERMANENT SEEDING OPERATIONS TO PROMOTE THE GROWTH OF VEGETATION AND TO PROTECT THE SOIL SURFACE FROM RAINDROP IMPACTS.

SOIL STABILIZATION BLANKETS & MATTING-3.36.....UPON COMPLETION OF GRADING OPERATIONS, A DEGRADABLE BLANKET SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER TO PROMOTE STABILIZATION DUE TO SEEDING OPERATIONS.

MANAGEMENT STRATEGIES:

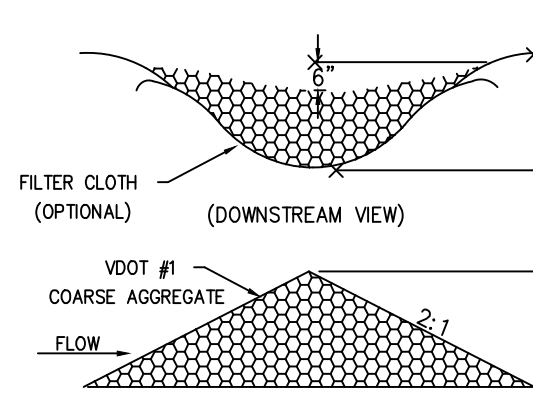
- CONSTRUCTION WILL BE SEQUENCED SO THAT GRADING OPERATIONS CAN BEGIN AND END AS QUICKLY AS POSSIBLE.
- SEDIMENT TRAPPING MEASURES WILL BE INSTALLED AS A FIRST STEP IN GRADING.
- THE LOCAL PROGRAM ADMINISTRATOR RESERVES THE RIGHT TO ADD TO, DELETE OR OTHERWISE CHANGE THE EROSION CONTROL MEASURES AS DEEMED NECESSARY DUE TO ACTUAL FIELD CONDITIONS BY WRITTEN NOTIFICATION TO THE CONTRACTOR.
- ALL CUT AND FILL SLOPES SHALL BE SEEDDED WITHIN (7) DAYS OF ACHIEVING FINAL GRADE.
- ONLY AFTER INSPECTION AND APPROVAL FROM THE LOCAL PROGRAM ADMINISTRATOR MAY ITEMS BE REMOVED FOLLOWING THE STABILIZATION OF THE CONTRIBUTING AREAS.

INSPECTIONS: THE GENERAL CONTRACTOR SHALL INSPECT DISTURBED AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED, AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION, STRUCTURAL CONTROL MEASURES, AND THE AREA OF CONSTRUCTION VEHICLE ACCESS AT LEAST EVERY FOURTEEN (14) CALENDAR DAYS, AND WITHIN 48 HOURS OF THE END OF A STORM EVENT PRODUCING 1/2" OR GREATER OF PRECIPITATION. WHERE AREAS HAVE BEEN FINALLY OR TEMPORARILY STABILIZED OR RUNOFF IS UNLIKELY DUE TO WINTER CONDITIONS (SITE IS COVERED WITH SNOW, ICE, OR FROZEN GROUND EXISTS) SUCH INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH.

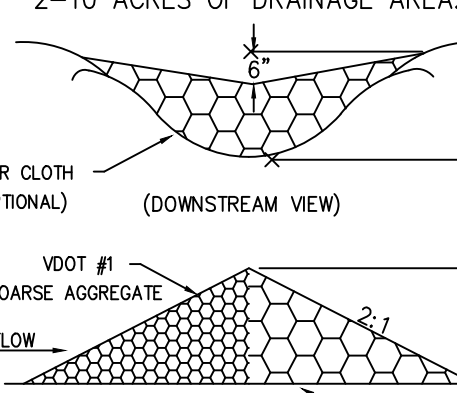
- INSPECT DISTURBED AREAS AND AREAS OF MATERIALS STORAGE THAT ARE EXPOSED TO PRECIPITATION FOR EVIDENCE OF, OR THE POTENTIAL FOR SEDIMENT ENTERING THE STORM DRAIN SYSTEM. INSPECT E&S CONTROLS IN ACCORDANCE WITH REQUIREMENTS STATED HEREIN, AND INSPECT POINTS OF STORM DRAIN DISCHARGE FOR EXCESSIVE SEDIMENTATION. CORRECT SITE CONTROLS AS REQUIRED TO REDUCE SEDIMENTATION OF STORM DRAINS, CULVERTS, AND RECEIVING CHANNELS.
- IF CONTROLS OR SEDIMENT PREVENTION AREAS ARE FOUND TO BE IN NEED OF REPAIR OR MODIFICATION, THE GENERAL CONTRACTOR SHALL PROVIDE ADDITIONAL MEASURES OR MODIFICATIONS TO EXISTING MEASURES AS REQUIRED. ANY ADDITIONAL MEASURES OR MODIFICATIONS TO EXISTING MEASURES SHALL BE RECORDED AS FIELD REVISIONS TO THESE PLANS. IN THE EVENT THAT ADDITIONAL CONTROLS ARE FOUND TO BE REQUIRED, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THESE CONTROLS BEFORE THE NEXT ANTICIPATED STORM EVENT. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICAL, THEY SHALL BE IMPLEMENTED AS SOON AS PRACTICAL.
- A REPORT SUMMARIZING THE SCOPE OF INSPECTIONS, NAME OF INSPECTOR, INSPECTOR'S QUALIFICATIONS, DATES OF INSPECTIONS, MAJOR OBSERVATIONS PERTAINING TO THE IMPLEMENTATION OF THESE EROSION CONTROL PLANS, AND ACTIONS TAKEN SHALL BE MADE AND RETAINED AS A PART OF THESE PLANS. MAJOR OBSERVATIONS OF THESE REPORTS SHALL INCLUDE: THE LOCATIONS OF EXCESSIVE SEDIMENTATION FROM THE SITE; LOCATIONS OF CONTROLS IN NEED OF REPAIR; LOCATIONS OF FAILED OR INADEQUATE CONTROLS; AND LOCATIONS WHERE ADDITIONAL CONTROLS ARE NEEDED.

STORMWATER MANAGEMENT: THREE PERMANENT STORMWATER MANAGEMENT FACILITIES WILL BE CONSTRUCTED AND STABILIZED TO PROTECT DOWNSTREAM RECEIVING CHANNELS.

2 ACRES OR LESS OF DRAINAGE AREA:



2-10 ACRES OF DRAINAGE AREA:



CD ROCK CHECK DAM



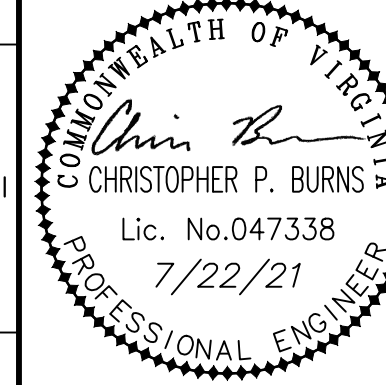
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Roanoke
New River Valley
Richmond
Staunton
Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING
SITE DEVELOPMENT ENGINEERING
LAND USE PLANNING & ZONING
LANDSCAPE ARCHITECTURE
LAND SURVEYING
ARCHITECTURE
STRUCTURAL ENGINEERING
TRANSPORTATION ENGINEERING
ENVIRONMENTAL & SOIL SCIENCE
WETLAND DELINEATIONS & STREAM EVALUATIONS

Balzer and Associates, Inc.

1208 Corporate Circle
Roanoke, VA 24018
540-772-9580
FAX 540-772-8050



THE VILLAGE AT NORTH MILL

ESC NOTES & DETAILS

CITY OF SALEM, VIRGINIA

DRAWN BY CPB
DESIGNED BY CPB
CHECKED BY SMH
DATE 03/30/2007
SCALE N/A

REVISIONS:

07/02/2007
03/14/2008
07/14/2010
09/20/2010
01/18/2013
01/18/2016
06/16/2017
07/22/2021

SHEET NO.

C-13
JOB NO. 04170043.00

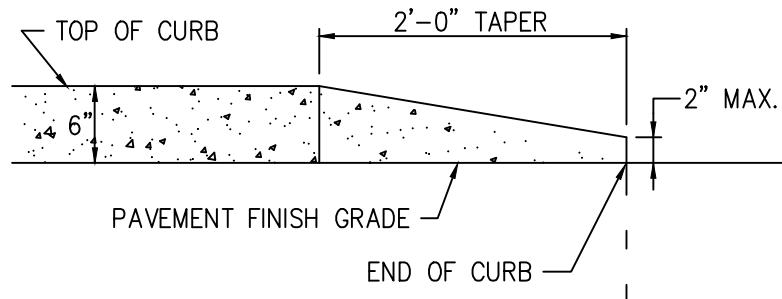
ENGINEERS NOTES

BALZER AND ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF PLANS OR FOR INFORMATION ON PLANS UNTIL SUCH PLANS HAVE BEEN APPROVED BY THE REQUIRED PUBLIC AGENCIES.

ANY WORK COMMENCED ON A PROJECT PRIOR TO PLAN APPROVAL IS AT SOLE RISK OF THE DEVELOPER.

BALZER AND ASSOCIATES, INC. WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE PLANS OR WILL NOT BE RESPONSIBLE FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.

SOURCE OF TOPOGRAPHIC INFORMATION IS CITY OF SALEM AERIAL MAPPING.



CURB TAPER DETAIL

NO SCALE

GENERAL NOTES

PROVIDE NEW MATERIALS AND WORKMANSHIP IN CONFORMANCE WITH ALL APPLICABLE CODES, STATE AND FEDERAL LAWS, LOCAL ORDINANCES, INDUSTRY STANDARDS, AND OTHER CRITERIA WHICH WOULD NORMALLY APPLY TO WORK OF THIS NATURE. NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERING A CONFLICT IN CODES, ORDINANCES, STANDARDS, OR OTHER CRITERIA. APPLICABLE CODES AND STANDARDS INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO, THE FOLLOWING:

- a. BOCA – BASIC CODES
- b. CITY OF SALEM
- c. VDOT – VIRGINIA DEPARTMENT OF TRANSPORTATION, ROAD AND BRIDGE STANDARDS AND SPECIFICATIONS
- d. VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS AND HANDBOOK
- e. OSHA – OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
- f. ASTM – AMERICAN SOCIETY FOR TESTING AND MATERIALS
- g. WWA – WESTERN VIRGINIA WATER AUTHORITY

MAINTAIN A SET OF APPROVED PLANS ON SITE AT ALL TIMES DURING CONSTRUCTION.

OBTAIN EACH REQUIRED PERMIT PRIOR TO COMMENCING THAT PART OF THE WORK. PAY REQUIRED FEES.

NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERY OF CONDITIONS WHICH DIFFER FROM THOSE SHOWN ON THE PLANS.

COMPLY WITH LOCAL ORDINANCES FOR BURNING OF WASTE. TRANSPORT WASTE MATERIALS AND UNSUITABLE MATERIALS FROM OWNER'S PROPERTY.

COORDINATE BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.

A PRECONSTRUCTION MEETING MUST TAKE PLACE PRIOR TO COMMENCING WORK. AS A MINIMUM, THE CONTRACTOR, OWNER'S AGENT AND CITY AGENT MUST ATTEND.

VERIFY THE LOCATION AND ELEVATION OF EACH EXISTING UNDERGROUND UTILITY IN AREAS OF CONSTRUCTION PRIOR TO COMMENCEMENT OF WORK. CONTACT ENGINEER IMMEDIATELY IF THERE APPEARS TO BE A CONFLICT, UPON DISCOVERY OF A UTILITY WHICH IS NOT SHOWN, AND UPON DISCOVERY OF A LOCATION OR ELEVATION WHICH DIFFERS FROM THAT SHOWN. TO LOCATE UTILITIES, CALL "MISS UTILITY", 1-800-552-7001. UTILITY LOCATIONS SHOWN ARE THE RESULT OF A COMBINATION OF FIELD LOCATION AND EXISTING INFORMATION. LOCATIONS ARE APPROXIMATE.

REPAIR ALL DAMAGE TO ANY UTILITY, PUBLIC OR PRIVATE, CAUSED AS A RESULT OF CONSTRUCTION ACTIVITIES, AT NO ADDITIONAL COST TO OWNER.

NOTIFY OWNERS OF UTILITIES IN AREAS OF CONSTRUCTION PRIOR TO COMMENCEMENT OF EXCAVATION.

SIGNAGE SHALL COMPLY WITH THE APPLICABLE REGULATIONS OF THE COUNTY. A SEPARATE PERMIT IS REQUIRED.

ANY SITE DEVELOPMENT OUTSIDE OF THE SCOPE OF THIS PLAN WILL REQUIRE SITE PLAN REVIEW AND APPROVAL.

ADDITIONAL DRAINAGE STRUCTURES AND EASMENTS MAY BE REQUIRED BY THE CITY OF SALEM DUE TO ANY DEVIATION BETWEEN THE APPROVED PROPOSED CONTOURS AND THE AS-BUILT CONDITIONS OR ANY OTHER TOPOGRAPHIC CHANGES.

SUBDIVISION & SITE CONSTRUCTION PLAN GENERAL NOTES

ALL MATERIALS AND CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CURRENT VIRGINIA DEPARTMENT OF TRANSPORTATION'S STANDARDS AND SPECIFICATIONS.

LAND USE PERMITS (CE-7P) MUST BE OBTAINED FROM THE CITY OF SALEM PRIOR TO BEGINNING ANY CONSTRUCTION WITHIN THE EXISTING CITY MAINTAINED RIGHT-OF-WAY (INCLUDING ACCESS).

THE CITY IS TO RECEIVE WRITTEN NOTIFICATION 48 HOURS PRIOR TO COMMENCING WITH INITIAL CONSTRUCTION ACTIVITIES WITHIN SAID RIGHT-OF-WAYS.

THE CONTRACTOR SHALL VERIFY THE ELEVATIONS OF ALL POINTS OF CONNECTION OR PROPOSED WORK TO EXISTING CURBS, SANITARY LINES, WATER LINES, ETC., PRIOR TO CONSTRUCTION.

UPON THE DISCOVERY OF SOILS THAT ARE UNSUITABLE FOR FOUNDATIONS, SUBGRADES, OR OTHER ROADWAY CONSTRUCTION PURPOSES, THE CONTRACTOR SHALL IMMEDIATELY CONTACT A GEOTECHNICAL ENGINEER AND THE CITY. THESE AREAS SHALL BE EXCAVATED BELOW PLAN GRADE AS DIRECTED BY THE GEOTECHNICAL ENGINEER, BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED IN ACCORDANCE WITH CURRENT VDOT SPECIFICATIONS.

ALL STORM SEWER DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH VDOT STANDARDS AND SPECIFICATIONS.

IF PRE-CAST DRAINAGE UNITS ARE TO BE USED, THE CITY SHALL BE NOTIFIED AND THE MANUFACTURER SHALL SUBMIT DRAWING DETAILS FOR REVIEW. CERTIFICATION AND CITY OF SALEM STAMP WILL BE REQUIRED ON ALL UNITS.

ALL CONCRETE SHALL BE CLASS A3-AE (AIR ENTRAINED 3,000 PSI).

ALL ENTRANCES ARE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH CURRENT VDOT STANDARDS. RESIDENTIAL LOT ACCESS SHALL BE PROVIDED PER THE FOLLOWING CRITERIA:

- a) ALL DRIVEWAY ENTRANCE CULVERTS ARE TO BE 15" DIAMETER X 20' LONG PIPE AND SHALL CONFORM TO PE-1 PRIVATE ENTRANCE STANDARDS UNLESS OTHERWISE DIRECTED BY THE RESIDENT ENGINEER. NO ENTRANCE CULVERTS ARE TO BE INSTALLED WITHIN FIVE (5) FEET OF A PROPERTY CORNER.
- b) VDOT STANDARD CG-90 ENTRANCES SHALL BE INSTALLED IN CURB AND GUTTER NEIGHBORHOODS. THE SAWCUTTING REMOVAL OF THE STANDING CURB IS UNACCEPTABLE WHEN INSTALLING AN ENTRANCE ON EXISTING CURB AND GUTTER.

THE DEVELOPER IS RESPONSIBLE FOR FURNISHING AND INSTALLING STOP SIGNS AT STREET INTERSECTIONS.

CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON PLAN. IF THERE APPEARS TO BE A CONFLICT, AND/OR UPON DISCOVERY OF ANY UTILITY SHOWN ON THIS PLAN, CALL MISS UTILITY OF CENTRAL VIRGINIA AT 1-800-552-7001. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY UTILITY WITHIN EXISTING AND/OR PROPOSED RIGHT-OF-WAY REQUIRED BY THE DEVELOPMENT.

ALL STREETLIGHTS SHALL BE LOCATED A MINIMUM OF 9.5' FROM THE EDGE OF PAVEMENT ON CURB AND GUTTER STREETS AND/OR LOCATED A MINIMUM OF 5.5' BEHIND THE DITCH LINE ON OPEN DITCH STREETS.

CASING SLEEVES SHALL BE PLACED AT ALL ROAD CROSSINGS FOR GAS, POWER, TELEPHONE AND CABLE TV SERVICES TRUNK LINES.

THE INSTALLATION OF SEWER, WATER, AND GAS MAINS (INCLUDING SERVICES LATERALS AND SLEEVES) SHALL BE COMPLETED PRIOR TO PLACEMENT OF AGGREGATE BASE COURSE. PERMITS ARE REQUIRED BY THE CITY OF SALEM FOR ALL UTILITIES TO REMAIN IN-PLACE AFTER STREET ACCEPTANCE.

ALL ROADSIDE DITCHES SHOWN AS PAVED ON PLANS ARE TO BE PAVED IN ACCORDANCE WITH THE TYPICAL SECTION AS SHOWN ON THE PLANS. GENERALLY, ALL DITCHES WITH SLOPES EXCEEDING 5% OR LESS THAN 0.75% SHALL BE PAVED UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER. ANY ADDITIONAL PAVING OF THE DITCHES, OTHER THAN THOSE SHOWN ON THE ROAD PLANS WILL BE DETERMINED PRIOR TO ACCEPTANCE OF THE ROADS INTO THE CITY OF SALEM ROAD SYSTEM.

A PRIME COAT SEAL BETWEEN THE AGGREGATE BASE AND BITUMINOUS CONCRETE WILL BE REQUIRED AT A RATE OF 0.30 GALLONS PER SQUARE YARD (REC-250 PRIME COAT) PER VDOT STANDARDS AND SPECIFICATIONS.

THE SCHEDULING OF AGGREGATE BASE INSTALLATION AND SUBSEQUENT PAVING ACTIVITIES SHALL ACCOMMODATE FORECAST WEATHER CONDITIONS PER SECTION 315 OF THE ROAD AND BRIDGE SPECIFICATIONS.

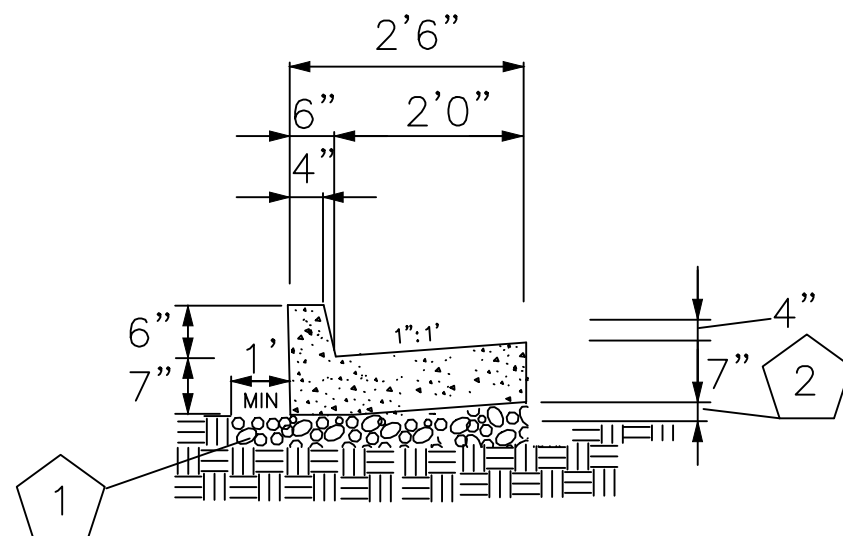
ALL VEGETATION AND ORGANIC MATERIAL IS TO BE REMOVED FROM THE RIGHT-OF-WAY LIMITS PRIOR TO CONDITIONING OF THE SUBGRADE.

CERTIFICATION AND SOURCE OF MATERIALS ARE TO BE SUBMITTED TO VDOT FOR ALL MATERIALS AND BE IN ACCORDANCE WITH THE ROAD AND BRIDGE SPECIFICATIONS AND ROAD AND BRIDGE STANDARDS.

DRY GUTTER IS NOT ALLOWED IN VDOT RIGHT OF WAY.

THE NECESSITY AND LOCATIONS FOR ADDITIONAL VDOT STANDARD UNDERDRAINS TO BE DETERMINED AT TIME OF SUBGRADE INSPECTION.

VDOT SHALL BE PROVIDED DOCUMENTATION THAT ALL IN-PLACE PAVEMENTS MEET OR EXCEED THE APPROVED PAVEMENT DESIGN THICKNESS PRIOR TO STATE ACCEPTANCE.



STANDARD CG-6 CURB & GUTTER

GRADING NOTES

REFER TO BUILDING PLANS FOR SUBGRADE AND UTILITY TRENCHES WITHIN 5' OF THE BUILDING ENVELOPE.

REMOVE TREES, SHRUBS, GRASS, AND OTHER VEGETATION, IMPROVEMENTS OR OBSTRUCTIONS AS REQUIRED TO PERMIT INSTALLATION OF NEW CONSTRUCTION. REMOVE TREES AND OTHER VEGETATION, INCLUDING STUMPS AND ROOTS, COMPLETELY IN AREAS REQUIRED FOR SUBSEQUENT SEEDING. CUT OFF TREES AND STUMPS IN AREAS TO RECEIVE FILL MORE THAN THREE FEET IN DEPTH TO WITHIN EIGHT INCHES OF THE ORIGINAL GROUND SURFACE.

BARRICADE OPEN EXCAVATIONS OCCURRING AS PART OF THIS WORK AND OPERATE WARNING LIGHTS AS RECOMMENDED BY AUTHORITIES HAVING JURISDICTION.

EXCAVATION FOR STRUCTURES:

- a. CONFORM TO ELEVATIONS AND DIMENSIONS SHOWN WITHIN A TOLERANCE OF 0.1'
- b. PROVIDE TRUE AND STRAIGHT FOOTING EXCAVATIONS WITH UNIFORM AND LEVEL BOTTOMS OF THE WIDTH INDICATED TO ENSURE PROPER PLACEMENT AND COVER OF ALL REINFORCEMENT.
- c. REMOVE ALL LOOSE MATERIALS FROM THE EXCAVATION PRIOR TO PLACEMENT OF CONCRETE
- d. FOOTINGS WHICH SUPPORT CONCRETE MASONRY UNITS MAY BE STEPPED PROVIDED THE VERTICAL STEP DOES NOT EXCEED ONE HALF OF THE HORIZONTAL DISTANCE BETWEEN STEPS AND HORIZONTAL DISTANCE BETWEEN STEPS IS NOT LESS THAN TWO FEET.
- e. IF ROCK IS ENCOUNTERED IN A FOOTING EXCAVATION, UNDERCUT IT A MINIMUM EXCAVATION WITH CONTROLLED FILL.

CUT SURFACE UNDER PAVEMENTS TO COMPLY WITH CROSS SECTIONS, ELEVATIONS, AND GRADES AS INDICATED.

EXCAVATE TRENCHES TO UNIFORM WIDTH CONFORMING TO VDOT STANDARD PB-1 FOR STORM DRAINAGE PIPING.

PREVENT SURFACE WATER AND SUBSURFACE OR GROUND WATER FROM FLOWING INTO EXCAVATIONS AND FROM FLOODING PROJECT SITE AND SURROUNDING AREA. DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS. REMOVE WATER TO PREVENT SOFTENING OF FOUNDATION BOTTOMS, UNDERCUTTING FOOTINGS, AND SOIL CHANGES DETRIMENTAL TO STABILITY OF SUBGRADES AND FOUNDATIONS. CONVEY WATER WHEN ATMOSPHERIC TEMPERATURE IS LESS THEN 35°F (1°C).

PROTECT EXCAVATED BOTTOMS OF ALL FOOTINGS AND TRENCHES AGAINST FREEZING WHEN ATMOSPHERIC TEMPERATURE IS LESS THEN 35°F (1°).

BACKFILLING:

- a. COMPACT THE BACKFILL AROUND THE OUTSIDE OF EACH BUILDING TO A MINIMUM OF 85% OF MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D 698 STANDARD PROCTOR. DO NOT ALLOW HEAVY COMPACTION EQUIPMENT SUCH AS ROLLERS, ETC., CLOSER TO ANY FOOTING THAN THE HORIZONTAL DISTANCE SUBTENDED BY A 45° ANGLE WITH THE TOP EDGE OF THE FOOTINGS AND THE SURFACE OF THE GROUND.
- b. BACKFILL BEHIND WALLS AFTER PERMANENT CONSTRUCTION WHICH BRACES THE WALL IS IN PLACE OR TEMPORARY BRACING OF THE WALL IS PROPERLY INSTALLED, AND AFTER ACCEPTANCE OF CONSTRUCTION BELOW FINISH GRADE INCLUDING DAMP-PROOFING, REMOVAL OF CONCRETE FORMWORK, AND REMOVAL OF TRASH AND DEBRIS.

UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING INCLUDING ADJACENT TRANSITION AREAS. SMOOTH FINISHED SURFACES WITHIN SPECIFIED TOLERANCES, COMPACT WITH UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN, OR BETWEEN SUCH POINTS AND EXISTING GRADES. GRADE AREAS ADJACENT TO BUILDING LINES TO DRAIN AWAY FROM STRUCTURES AND TO PREVENT PONDING.

FINISH LAWN AREAS TO WITHIN ONE INCH ABOVE OR BELOW REQUIRED SUBGRADE ELEVATIONS. SHAPE SURFACE UNDER WALKS AND PAVEMENTS TO LINE, GRADE, AND CROSS SECTION, WITH NOT MORE THAN 1/2" ABOVE OR BELOW REQUIRED SUBGRADE ELEVATION.

GRADE SURFACE UNDER BUILDING SLABS SMOOTH AND EVEN, FREE OF VOIDS. PROVIDE FINAL GRADES WITHIN 1/2" OF THOSE INDICATED WHEN TESTED WITH A 10' STRAIGHT EDGE.

PROTECT GRADED AREAS FROM TRAFFIC AND EROSION. REPAIR AREAS WHICH HAVE SETTLED, ERODED, OR BECOME DAMAGED DUE TO CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO OWNER.

PLACE ALL FILL AND BACKFILL AS CONTROLLED FILL AS FOLLOWS:

- a. ESTABLISH SUITABLE SUBGRADE CONDITIONS PRIOR TO PLACING FILL BY PROOFROLLING, UNDERCUTTING AND COMPACTING AS NECESSARY.
- b. PLACE FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH FOR HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4" FOR HAND TAMPERS.
- c. PRIOR TO COMPACTION, PROVIDE MOISTURE CONTENT TO WITHIN 3% OF OPTIMUM BY MOISTENING OR AERATING EACH LAYER. DO NOT PLACE FILL MATERIAL ON SURFACES WHICH ARE MUDDY, FROZEN OR CONTAIN FROST OR ICE.
- d. COMPACT SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D 698 (STANDARD PROCTOR):
 - i. 95% UNDER PAVEMENT
 - ii. 85% UNDER LAWN OR UNPAVED AREAS

SPREAD TOPSOIL TO A DEPTH OF 4" OVER ALL DISTURBED AREAS NOT RECEIVING WALKS, PAVEMENT, WALLS OR BUILDING, INCLUDING TRENCHES. IMMEDIATELY FOLLOWING PLACEMENT OF TOPSOIL, DISK THE ENTIRE TOPSOILED AREA AND RAKE FREE OF STONES AND DEBRIS OVER 1/2" IN ANY DIMENSION. PROVIDE A FINISHED SURFACE FREE OF DEPRESSIONS OR HIGH SPOTS. SEED IMMEDIATELY.

OWNER (CONTRACTOR) SHALL EMPLOY QUALIFIED SOILS TESTING LABORATORY TO INSPECT EARTHWORK OPERATIONS. NOTIFY LABORATORY PRIOR TO PERFORMING EARTHWORK OPERATIONS.



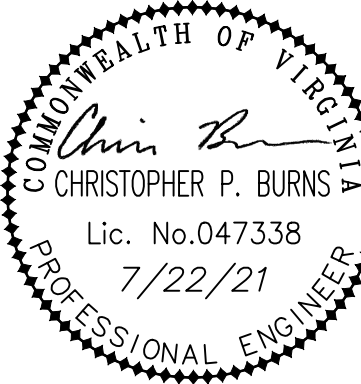
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Roanoke
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THE VILLAGE AT NORTH MILL

NOTES

CITY OF SALEM, VIRGINIA

DRAWN BY CPB

DESIGNED BY CPB

CHECKED BY SMH

DATE 03/30/2007

SCALE N/A

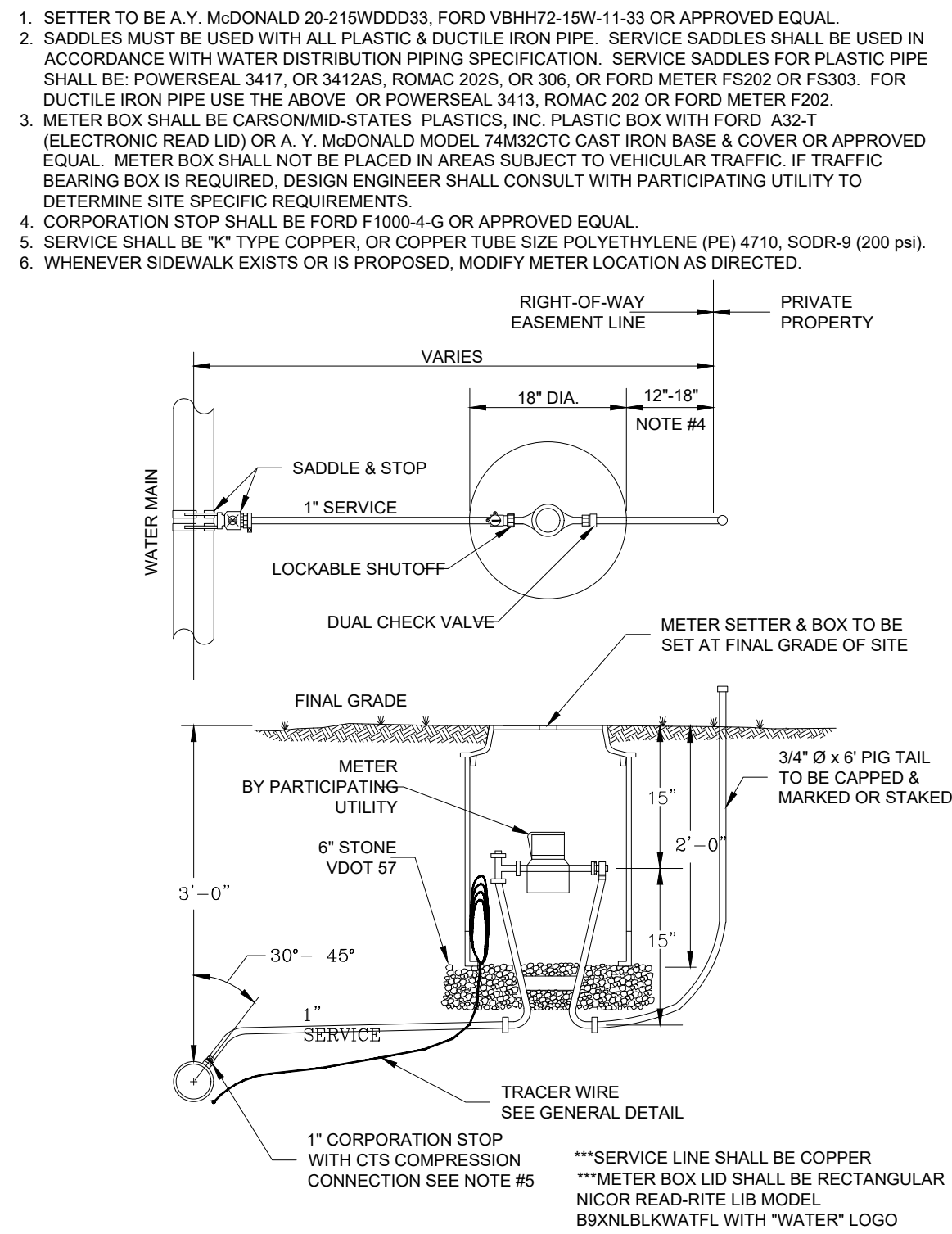
REVISIONS:

- 07/02/2007
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SHEET NO.

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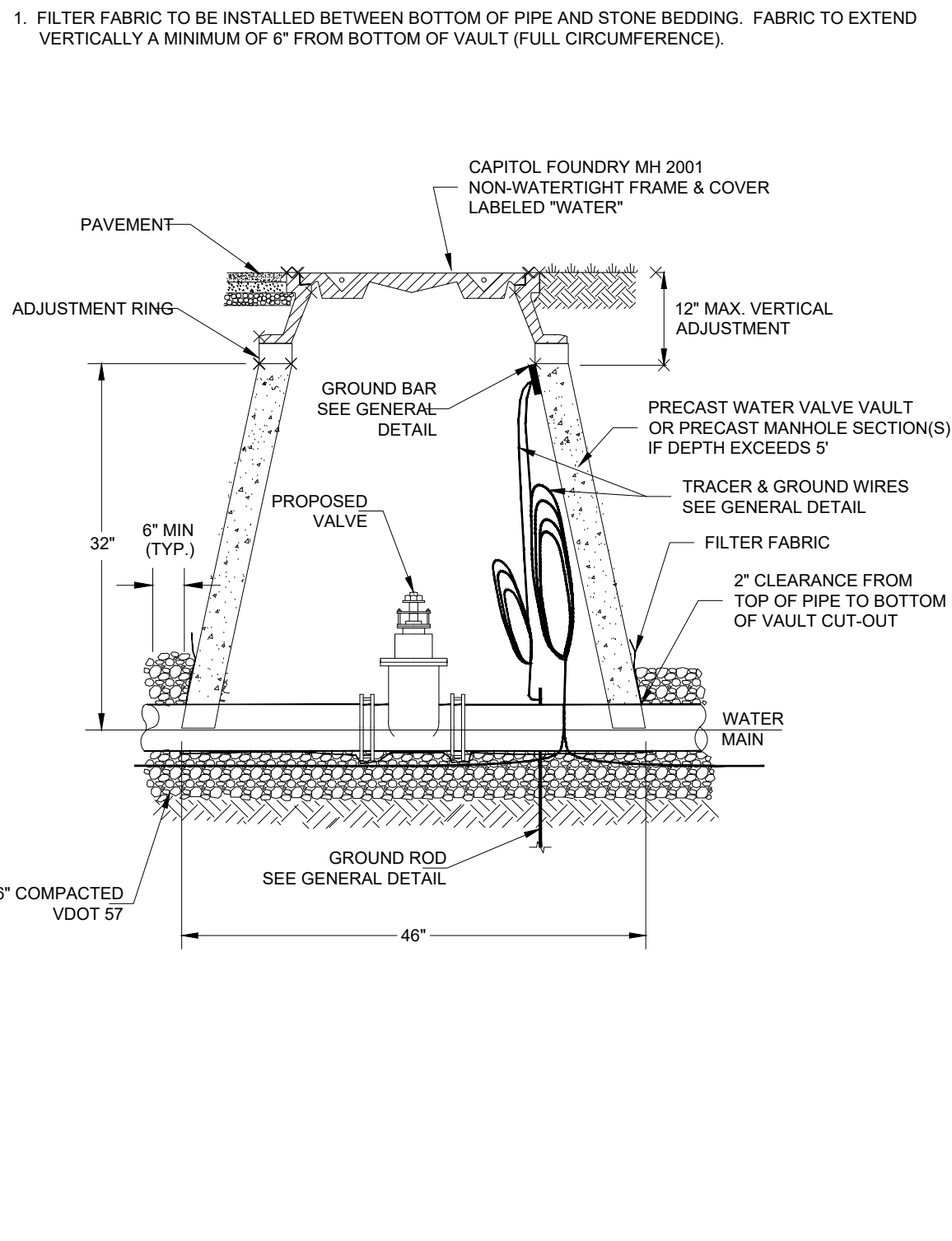


WESTERN VIRGINIA REGIONAL - CONSTRUCTION DETAIL

SINGLE RESIDENTIAL
WATER SERVICE - (NEW DEVELOPMENT)
(LINE PRESSURE UNDER 120 PSI)

01/01/12

W-1

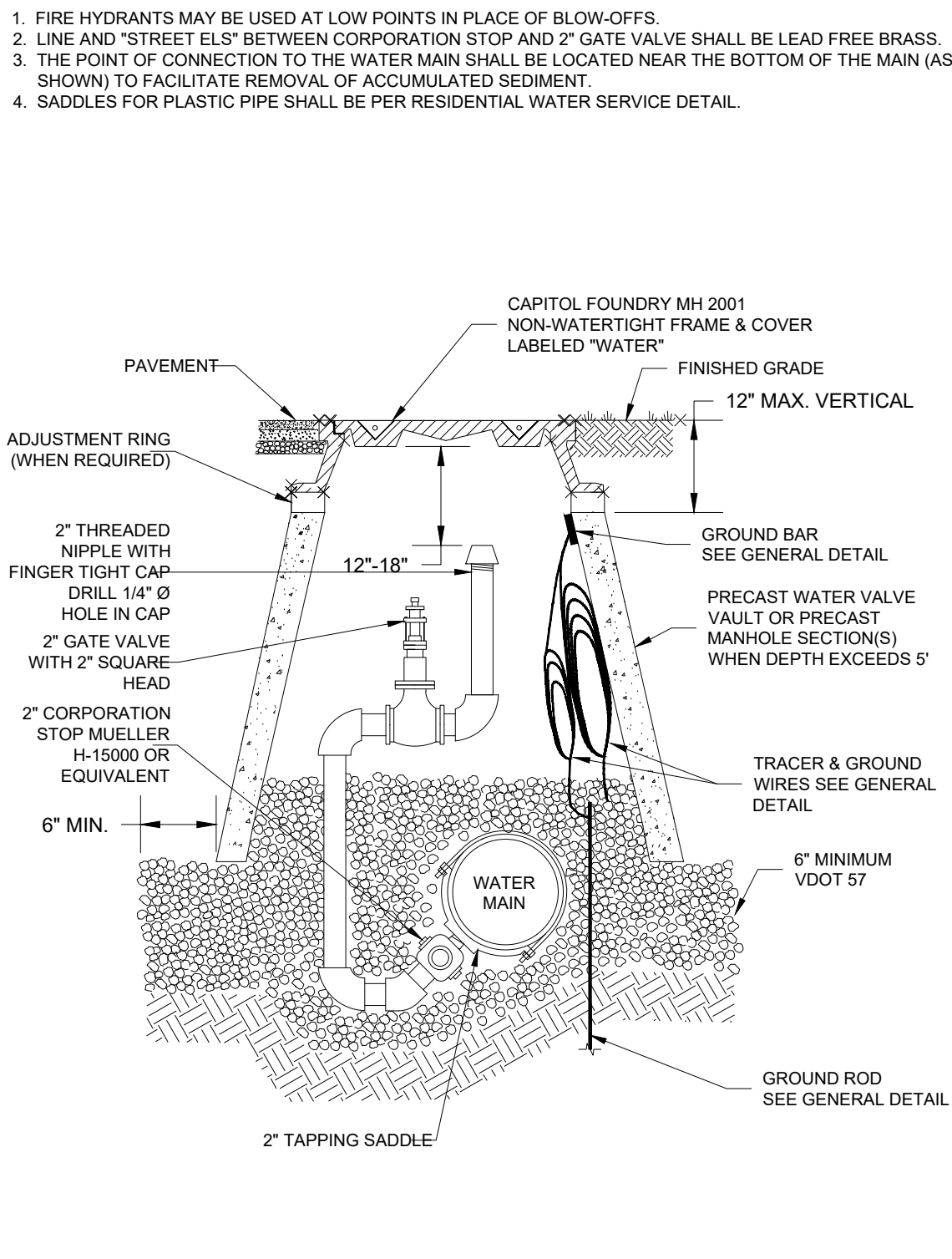


WESTERN VIRGINIA REGIONAL - CONSTRUCTION DETAIL

WATER LINE VALVE
& VAULT

01/01/12

W-9

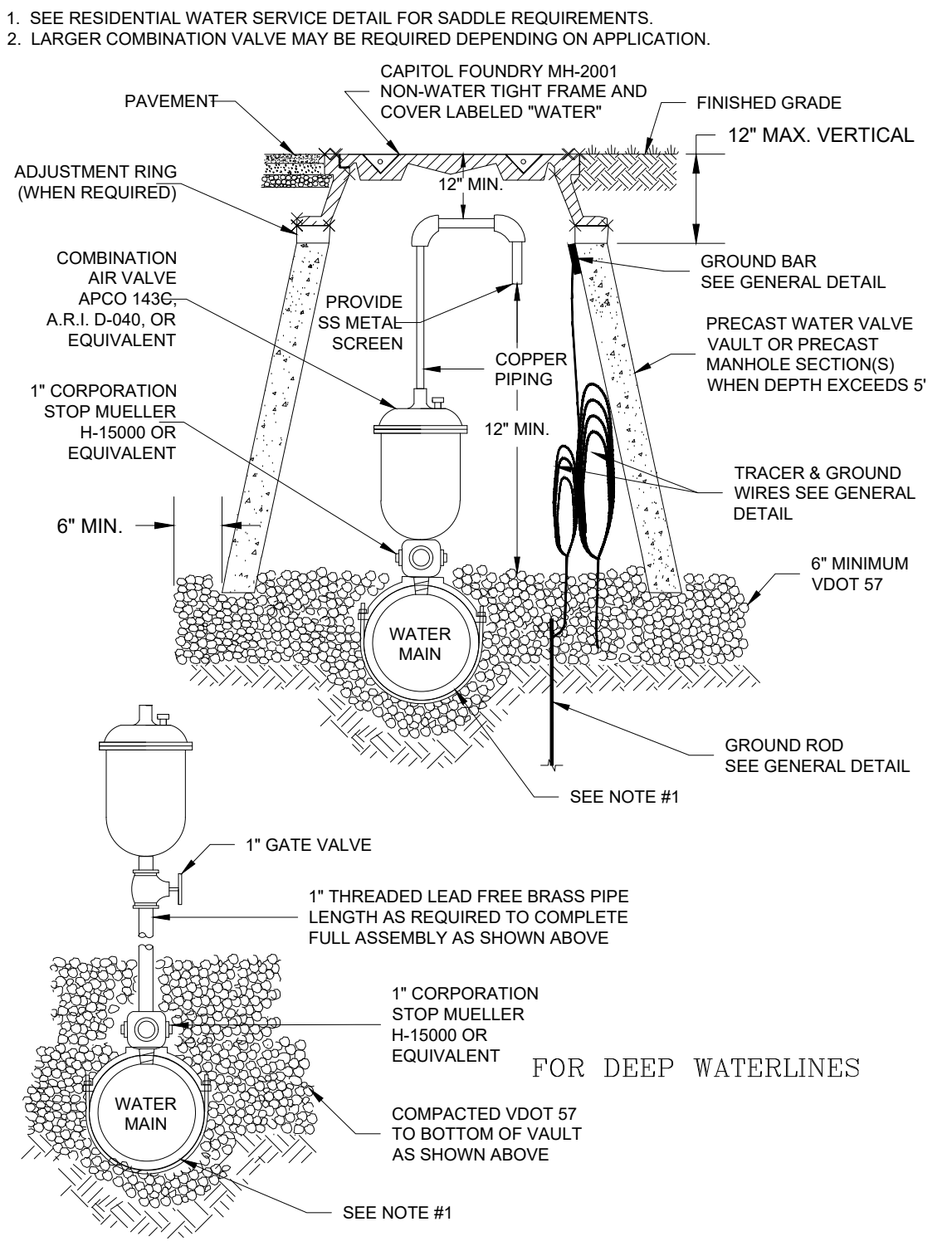


WESTERN VIRGINIA REGIONAL - CONSTRUCTION DETAIL

IN-LINE
BLOW-OFF ASSEMBLY

01/01/12

W-12

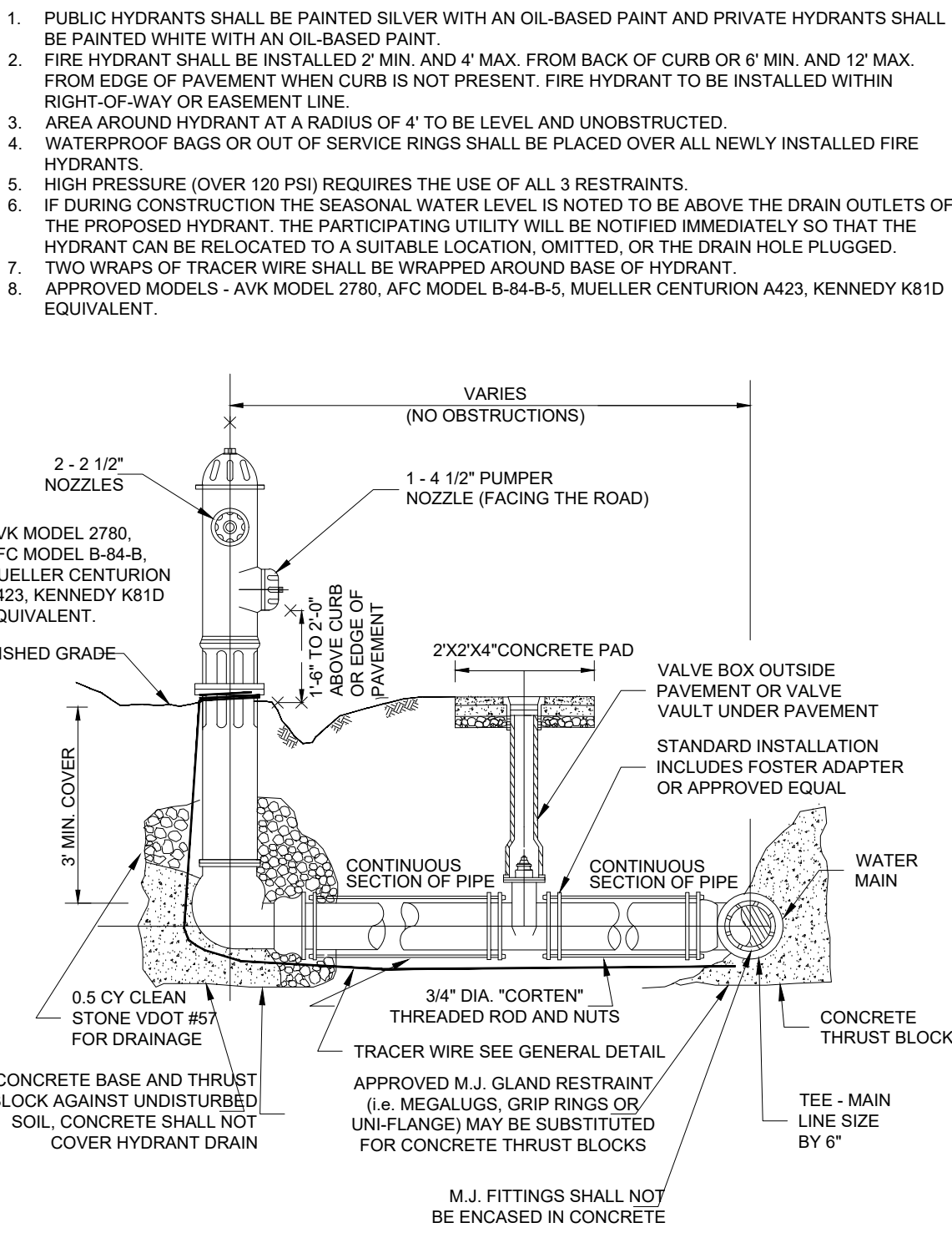


WESTERN VIRGINIA REGIONAL - CONSTRUCTION DETAIL

COMBINATION AIR VALVE ASSEMBLY

01/01/12

W-13

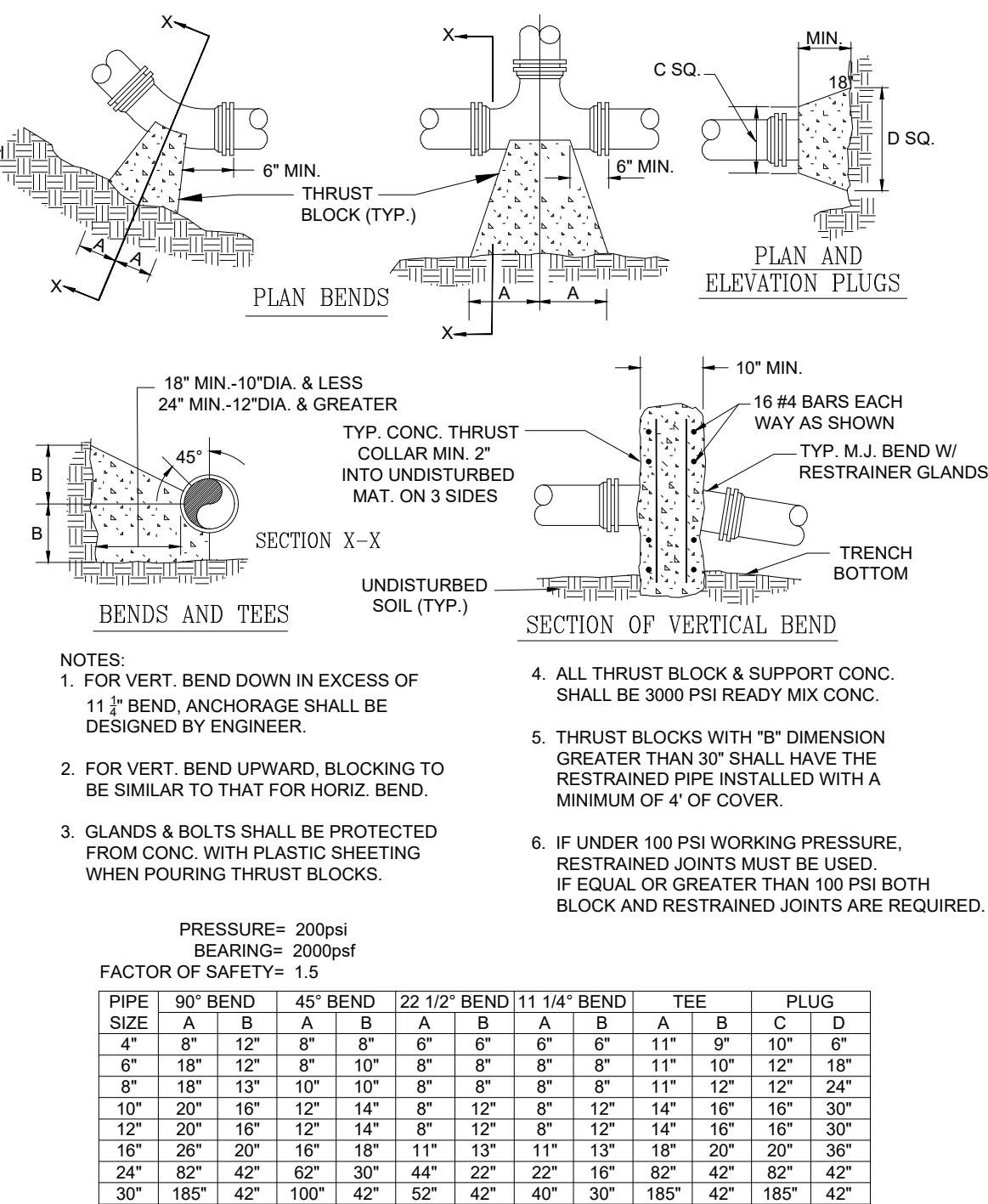


WESTERN VIRGINIA REGIONAL - CONSTRUCTION DETAIL

FIRE HYDRANT
ASSEMBLY

01/01/12

W-17

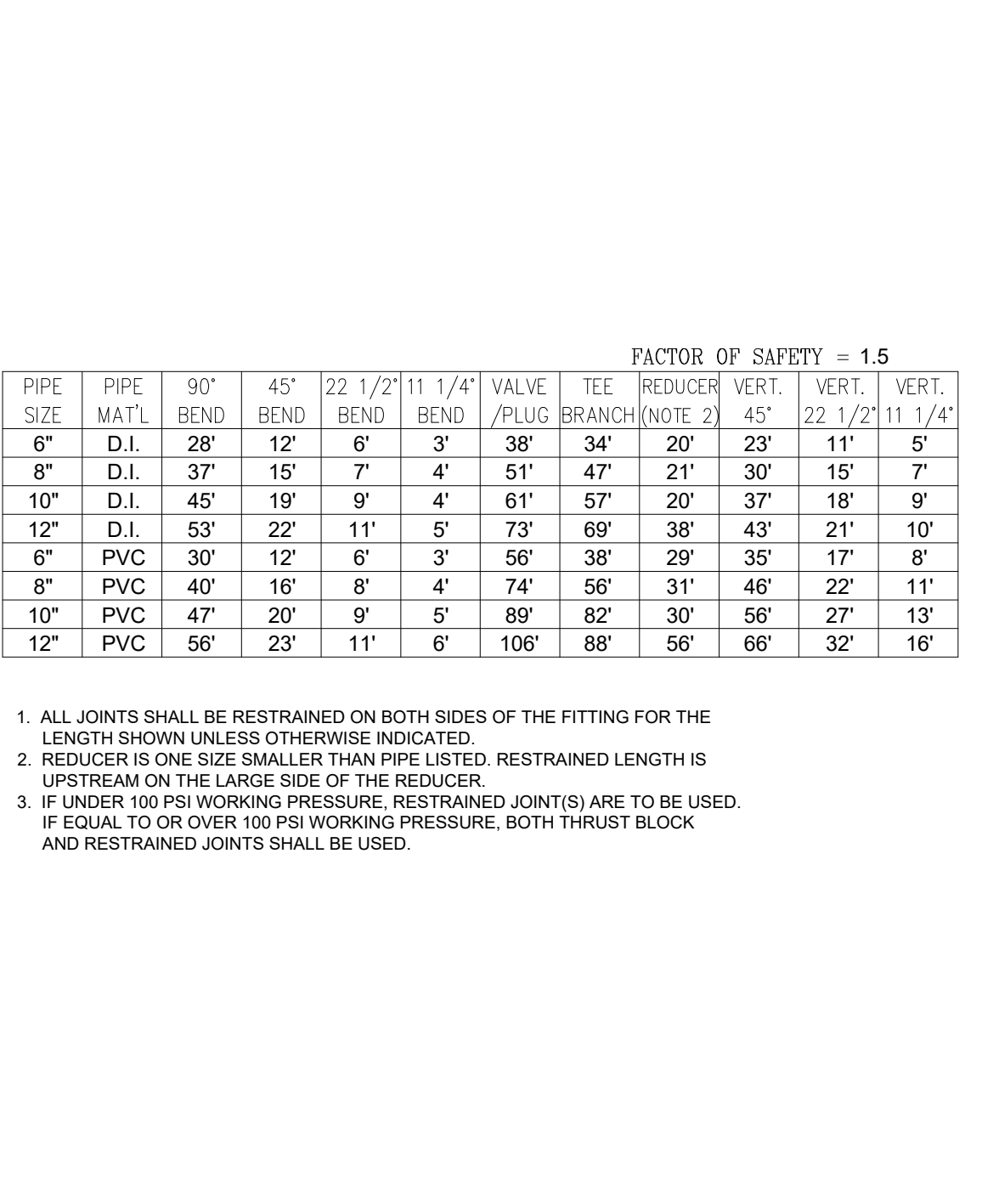


WESTERN VIRGINIA REGIONAL - CONSTRUCTION DETAIL

THRUST BLOCK
REQUIREMENTS

01/01/12

W-18

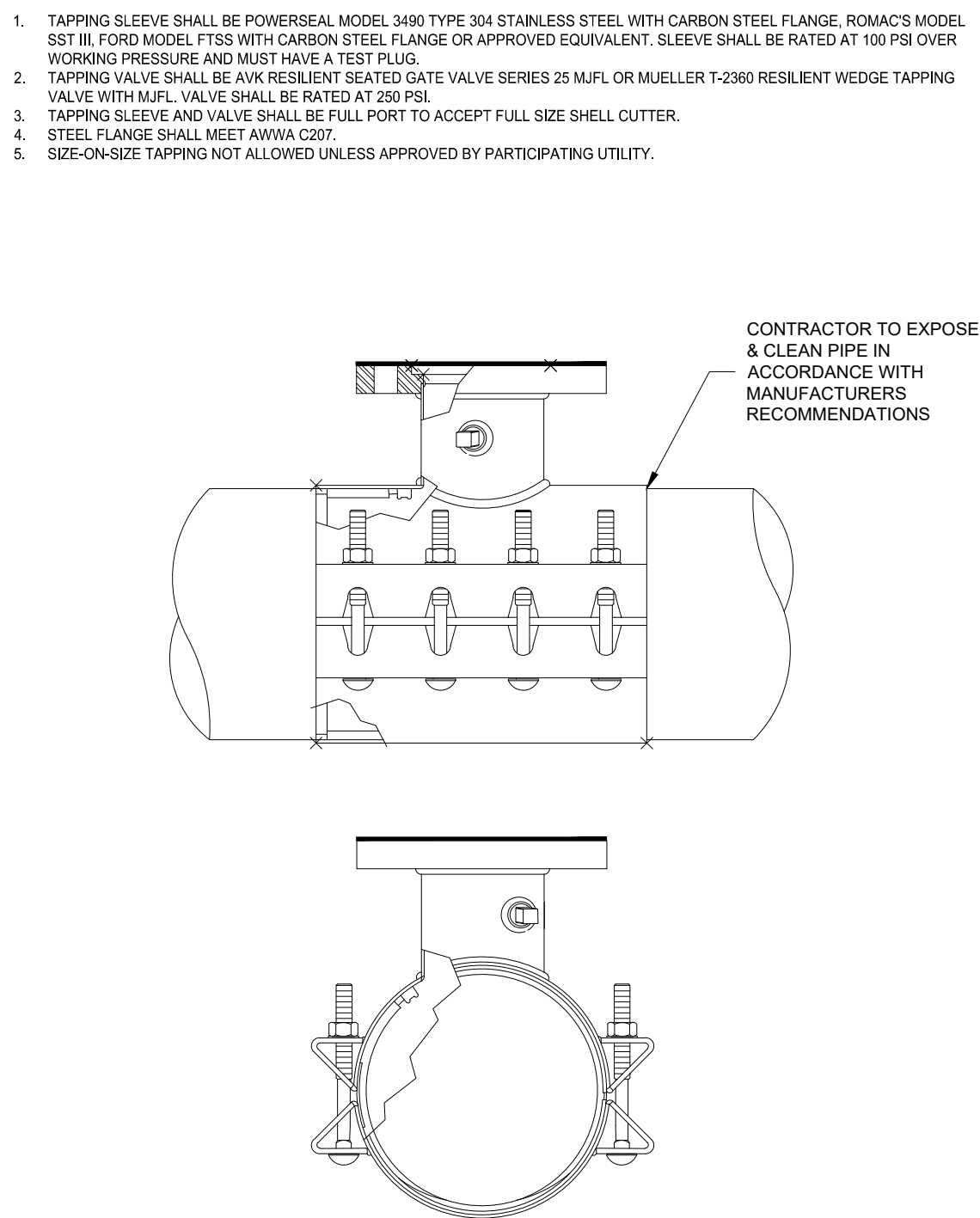


WESTERN VIRGINIA REGIONAL - CONSTRUCTION DETAIL

THRUST RESTRAINT
OF PIPE JOINTS
DESIGN LENGTHS

01/01/12

W-19

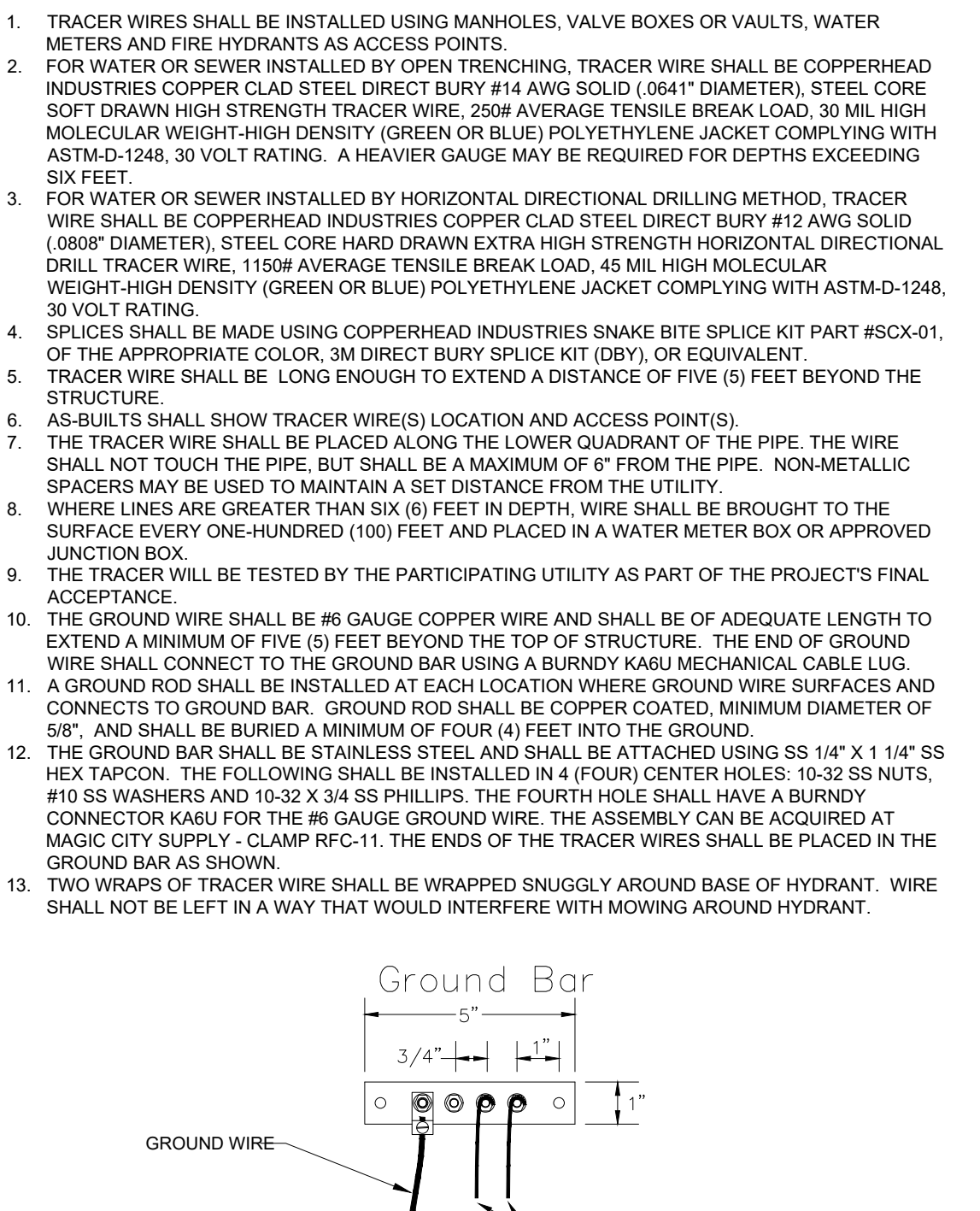


WESTERN VIRGINIA REGIONAL - CONSTRUCTION DETAIL

TAPPING SLEEVE
AND VALVE

01/01/12

W-21



WESTERN VIRGINIA REGIONAL - CONSTRUCTION DETAIL

TRACER WIRE
FOR NON-METALLIC
PRESSURE PIPE

01/01/12

C-4

AT A REGULAR MEETING OF THE PLANNING COMMISSION OF THE CITY OF SALEM, VIRGINIA held in Council Chambers of City Hall, 114 North Broad Street, Salem, VA 24153

AGENDA ITEM:

Major Subdivision

Consider the request for preliminary and final approval of proposed subdivision plat and subdivision plan filed by Virginia Valley Properties, LLC, property owner/developer, for a 0.72 acre tract known as the Calhoun Townhomes.

SUBMITTED BY:

Benjamin W. Tripp, AICP, CECd, City Planner

SUMMARY OF INFORMATION:

SITE CHARACTERISTICS:

Zoning: RMF Residential Multi-Family District
Existing Use: Vacant (house razed 2020)

This plat would create 7 new lots (6 townhomes, 1 common area lot) for the Calhoun Townhomes. Parking will be at the rear of the townhomes to include garages. The stormwater management area will be located within the common area lot.

STAFF RECOMMENDATION:

This plat meets the City of Salem Subdivision Ordinance, and the Subdivision Plan has been approved by staff. Staff recommends approval.

KNOW ALL MEN BY THESE PRESENT, TO WIT:

THAT VIRGINIA VALLEY PROPERTIES, LLC ARE THE OWNER OF A 0.7200 ACRE TRACT, BOUNDED BY OUTSIDE CORNERS 1 THUR 6 TO 1 INCLUSIVE, BEING THE PROPERTY CONVEYED TO SAID OWNER BY DEED AS RECORDED IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF THE CITY OF SALEM, VIRGINIA, INSTRUMENT NUMBER 190000700.

THE RECORDATION OF THIS PLAT OF SUBDIVISION DOES NOT CONSTITUTE A CONVEYANCE OF LAND. ANY LOT, PARCEL OR TRACT OF LAND SHOWN HEREON THAT IS INTENDED FOR SALE AND/OR CONVEYANCE MUST BE CONVEYED BY DEED AND SAID DEED MUST BE RECORDED IN THE OFFICE OF THE CLERK OF CURCUIT COURT OF THE CITY OF SALEM.

THE SAID OWNER CERTIFIES THAT THEY HAVE SUBDIVIDED THE LAND AS SHOWN HEREON ENTIRELY OF THEIR OWN FREE WILL AND ACCORD AS REQUIRED BY SECTION 15.2-2240 THRU 15.2-2279 OF THE CODE OF VIRGINIA, 1950 AS AMENDED AND SECTION 29-4.4 OF THE CITY OF SALEM SUBDIVISION ORDINANCE, AS AMENDED.

WITNESS THE SIGNATURE AND SEAL OF THE SAID OWNER:

VIRGINIA VALLEY PROPERTIES, LLC

CITY OF SALEM
STATE OF VIRGINIA

I, _____ A NOTARY PUBLIC IN AND FOR THE AFORESAID CITY AND STATE DO HEREBY CERTIFY THAT _____ WHOSE NAME IS SIGNED TO THE FOREGOING WRITING DATED _____, 2019, HAS PERSONALLY APPEARED BEFORE ME IN MY COUNTY AND STATE AND ACKNOWLEDGED THE SAME ON THIS ____ DAY OF _____ 2021.

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC: _____

REGISTRATION NO. _____

APPROVAL HEREOF BY THE CITY OF SALEM SUBDIVISION AGENT IS FOR PURPOSES OF ENSURING COMPLIANCE WITH THE CITY OF ROANOKE SUBDIVISION ORDINANCE. PRIVATE MATTERS, SUCH AS COMPLIANCE WITH RESTRICTIVE COVENANTS OR OTHER TITLE REQUIREMENTS, APPLICABLE TO THE PROPERTIES SHOWN HEREON, ARE NOT REVIEWED OR APPROVED WITH REGARD TO THIS SUBDIVISION OR RE-SUBDIVISION.

APPROVED:

JAMES E. TALIAFERRO, II, P.E., L.S. DATE
EXECUTIVE SECRETARY, CITY OF SALEM PLANNING COMMISSON

CHARLES E. VAN ALLMAN JR., P.E., L.S. - DIRECTOR OF COMMUNITY DATE
EXECUTIVE SECRETARY, CITY OF SALEM PLANNING COMMISSON

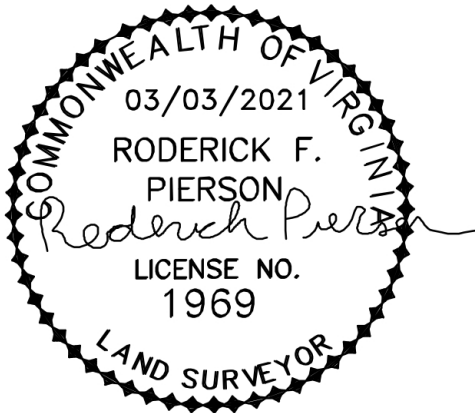
IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF THE CITY OF SALEM, VIRGINIA, THIS PLAT WAS PRESENTED AND WITH THE CERTIFICATE OF ACKNOWLEDGMENT THERETO ANNEXED IS ADMITTED TO RECORD AT _____ O'CLOCK ____ M ON THIS DAY OF _____, 202__, IN INSTRUMENT NO. _____.

TESTE: GARY CHANCE CRAWFORD
CLERT **CLERK**

DEPUTY CLERK

I HEREBY CERTIFY THAT THIS SURVEY, TO THE BEST OF MY KNOWLEDGE AND BELIEF, IS CORRECT AND COMPLIES WITH THE MINIMUM STANDARDS AND PROCEDURES ESTABLISHED BY THE VIRGINIA STATE BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS, AND LAND SURVEYORS, AND

Roderick F. Pierson
RODERICK F. PIERSON LLS 1969



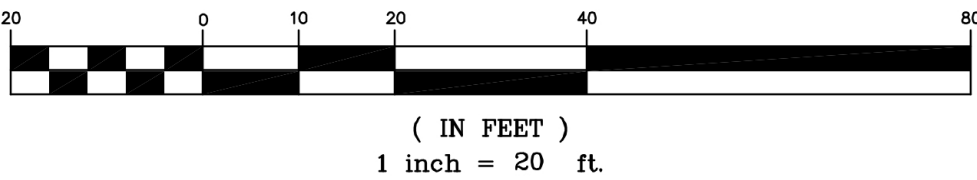
THIS PLAT WAS CREATED COMPLETELY FROM RECORDS.

- Owner of record: (Virginia Valley Properties, LLC)
- Tax#: 122-9-1, 106 Chestnut Street, City of Salem, VA Instrument Number 190000700
- This plat has been prepared without the benefit of a title report and therefore does not necessarily indicate all encumbrances upon the property.
- Exact location of underground utilities and improvements unknown.
- This property is in flood zone "unshaded" X per FIRM Map Paned #51161C0141G Effective as of September 28, 2007.
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- Lots are currently zoned RMF

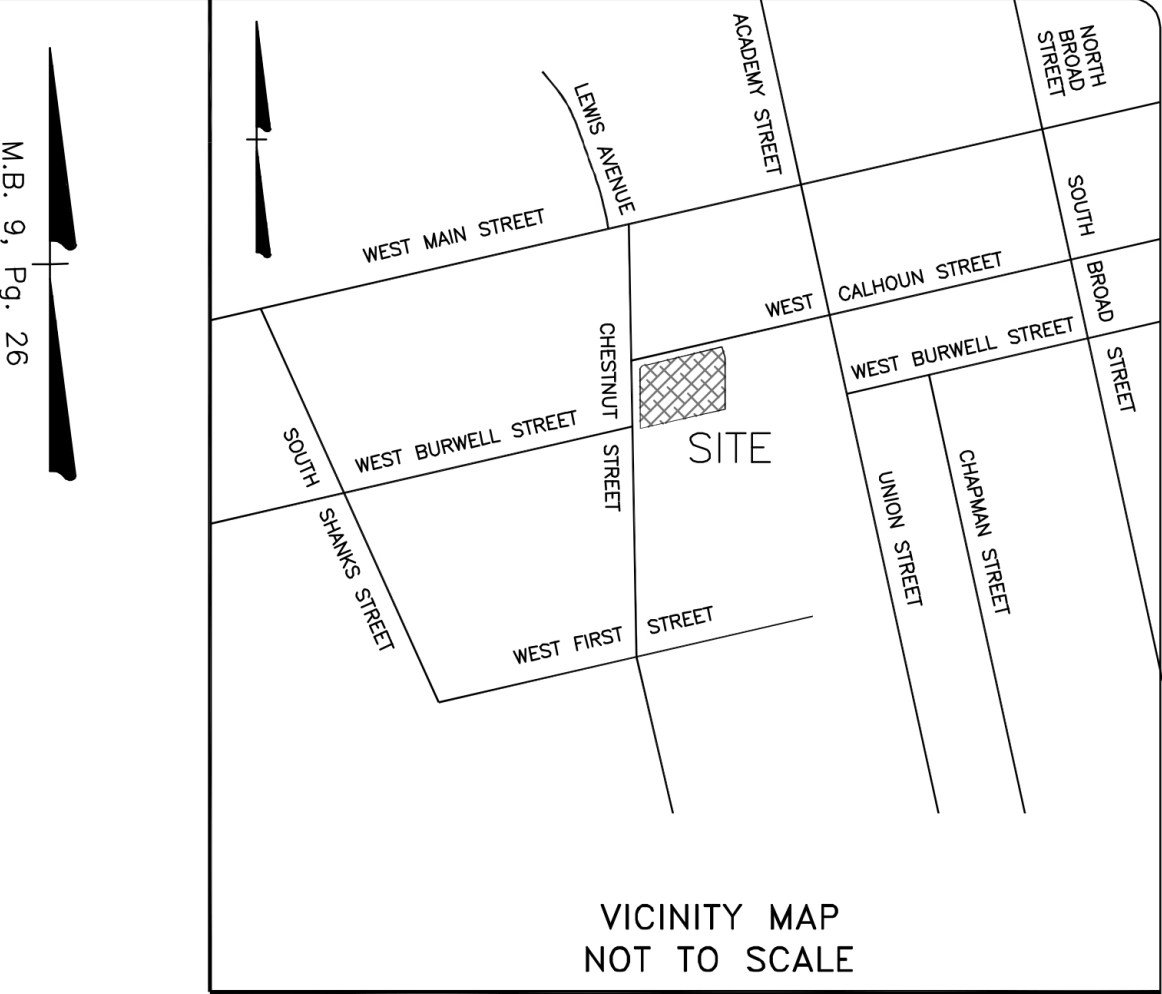
**DIRECTOR OF
COMMUNITY DEVELOPMENT**

A SUBDIVISION PLAT
FOR
VIRGINIA VALLEY PROPERTIES, LLC
TAX#: 122-9-1
Located At
106 CHESTNUT STREET
In The
City of Salem, Virginia
SCALE : 1"= 20' DATE: March 3, 2021
SHEET 1 OF 2
GRAPHIC SCALE

THE OFFICE OF
PIERSON ENGINEERING &
SURVEYING, INC.
P.O. BOX 311
DALEVILLE, VIRGINIA 24083
PH. 540-966-3027
rpierson@rbnet.com



DWGS/CHESTNUTSTREET



M.B. 9, Pg. 26

LEGEND:

- IP FOUND
- IP SET
- △ CALCULATED POINT
- NEW DIVISION LINE
- EXISTING PROPERTY LINE
- ADJOINING PROPERTY LINES

RADIUS = 15.00'
TANGENT = 12.18'
ARC LENGTH = 20.46'
DELTA = 78°08'58"
CHORD = 18.91'
CHORD BEARING = N37°21'33"E

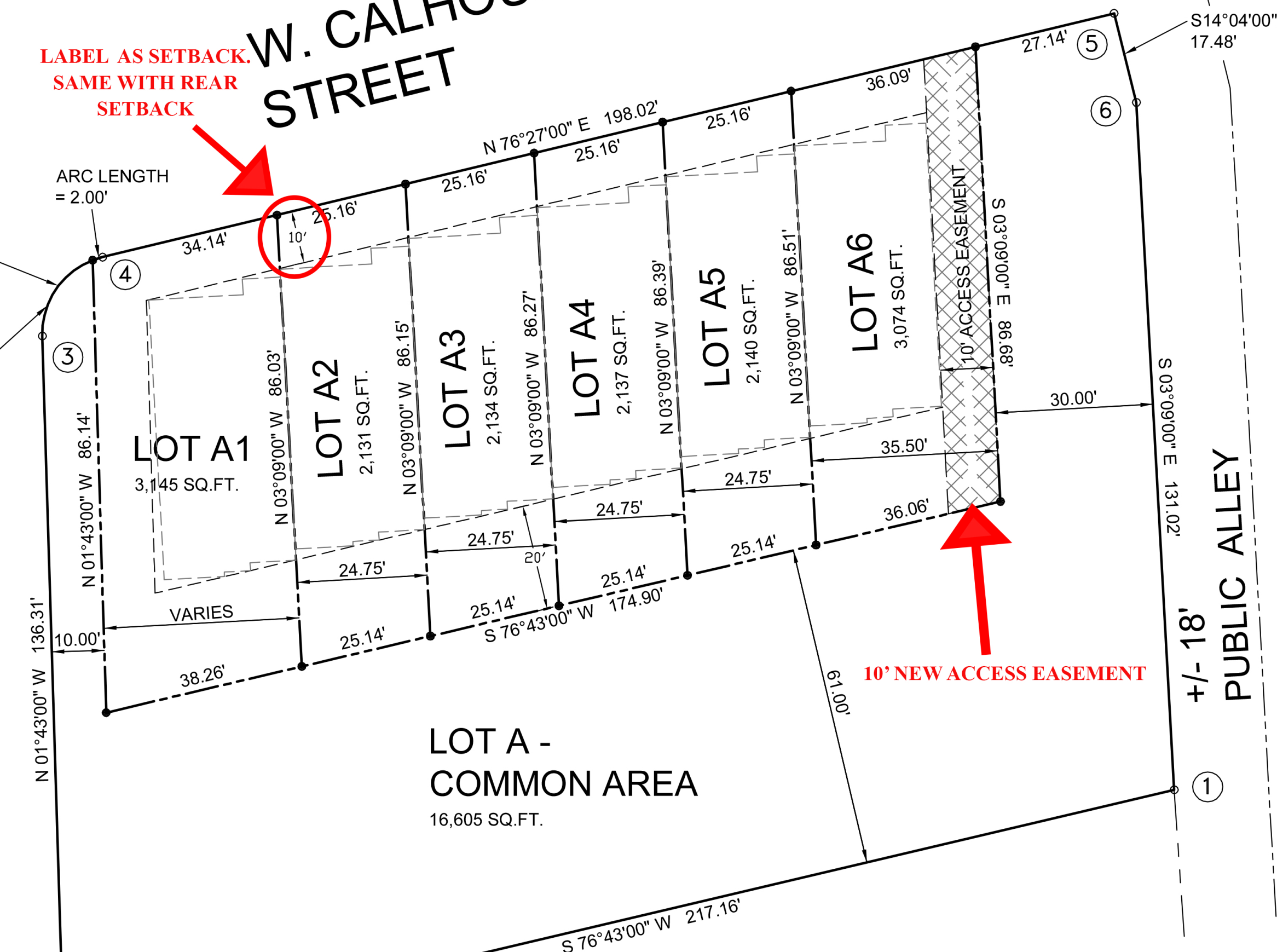
ARC LENGTH
= 18.46'

W. CALHOUN STREET

**LABEL AS SETBACK.
SAME WITH REAR
SETBACK**

CHESTNUT STREET
50' RW

**WEST
BURWELL
STREET**



S14°04'00"E
17.48'

S 03°09'00" E 131.02'

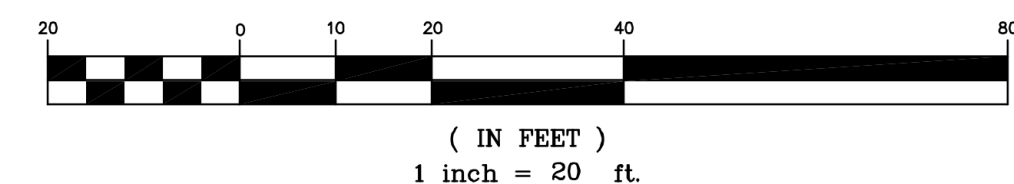
PUBLIC ALLEY
+/- 18'

A SUBDIVISION PLAT
FOR
VIRGINIA VALLEY PROPERTIES, LLC

TAX#: 122-9-1
Located At
106 CHESTNUT STREET
In The
City of Salem, Virginia

SCALE : 1" = 20' DATE: March 3, 2021

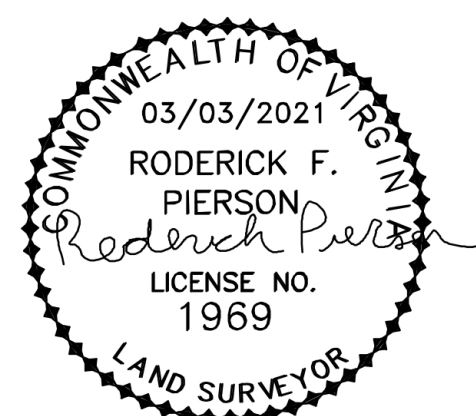
SHEET 2 OF 2
GRAPHIC SCALE



DWGS/CHESTNUTSTREET

Tax#: 122-9-2
202 Chestnut Street
Beverly A. & Wendy B.
and James R.
Gilrairie
Instr#: 120001397(S)/0

Roderick Pierson
RODERICK F. PIERSON LLS 1969



THIS PLAT WAS CREATED COMPLETELY FROM RECORDS.

THE OFFICE OF
PIERSON ENGINEERING &
SURVEYING, INC.
P.O. BOX 311
DALEVILLE, VIRGINIA 24083
PH. 540-966-3027
rpierson@rbnet.com



M.B. 5, Pg. 68(Rnke. Co.)

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EXECUTIVE SECRETARY, CITY OF SALEM PLANNING COMMISSON

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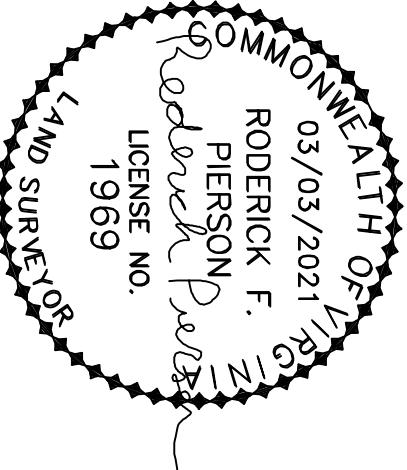
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CLERK

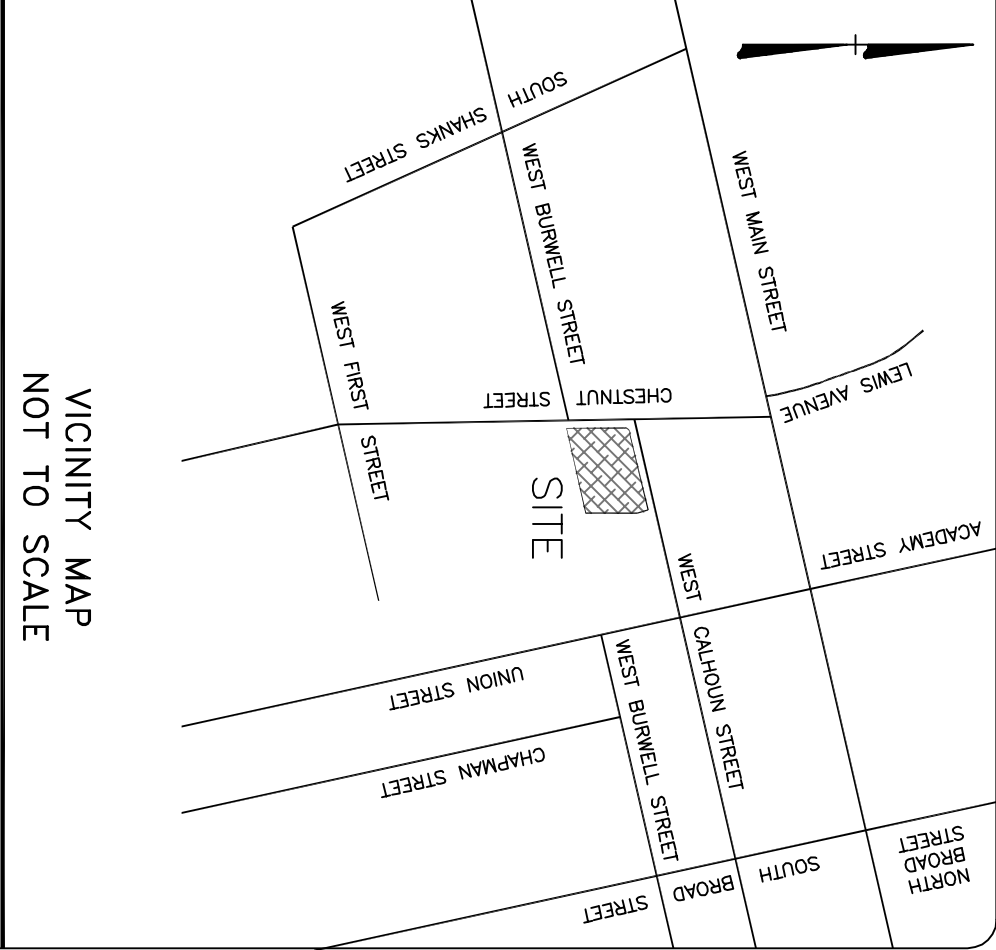
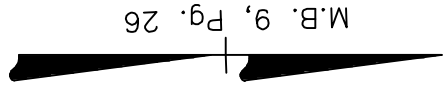
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RODERICK F. PIERSON LLS 1969



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VICINITY MAP
NOT TO SCALE

CITY OF SALEM
STATE OF VIRGINIA

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A SUBDIVISION PLAT FOR

VIRGINIA VALLEY PROPERTIES, LLC

TAX#: 122-9-1

Located At
106 CHESTNUT STREET
In The

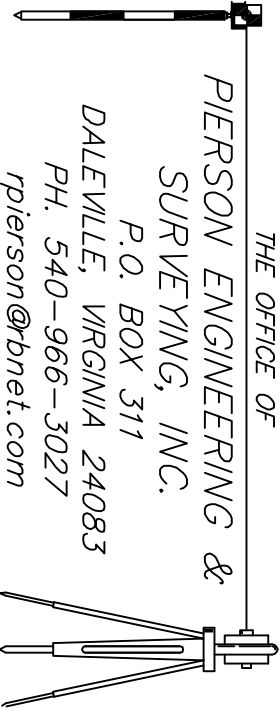
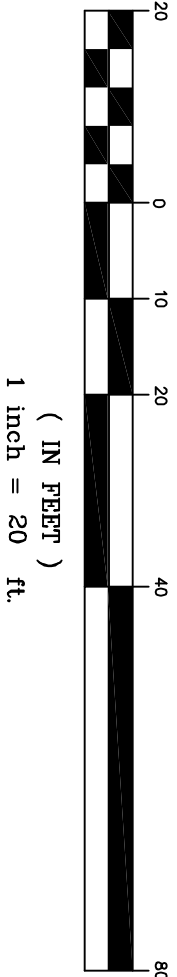
City of Salem, Virginia

SCALE : 1"= 20'

SHEET 1 OF 2

DATE: March 3, 2021

GRAPHIC SCALE



DWGS/CHESTNUTSTREET

M.B. 5, Pg. 68(Rnke. Co.)

--- ADJOINING PROPERTY LINES

Variable R/M

S14°04'00"E
17.48'

ARC LENGTH
= 2.00'

ARC LENGTH
= 18.46'

50' R/W

N 01°43'00" W 136.31'

LOT A1
3,145 SQ. FT.

LOT A2
2,131 SQ.FT.

LOT A3
2,134 SQ.FT.

LOT A4
2.137 SQ.FT.

LOT A5
2,140 SQ.FT.

LOT A6
3,074 SQ.FT.

NEW 10' ACCESS
EASEMENT

18' ALLEY

LOT A -
COMMON AREA
16,605 SQ.FT.

S 76° 43' 00" W 217.16

FOR

VIRGINIA VALLEY PROPERTIES, LLC

Tax#: 122-9-2
202 Chestnut Street
Beverly A. & Wendy B.
and James R.

Gilraine

Instr#: 120001397(S)/0

TAX#: 122-9-1

Located At

106 CHESTNUT STREET

In The

City of Salem, Virginia

SCALE : 1" = 20'
DATE: March 3, 2021

SHEET 2 OF 2

GRAPHIC SCALE

THE OFFICE OF
PIERSON ENGINEERING &

SURVEYING, INC.

P.O. BOX 311

DALEVILLE, VIRGINIA 24083

PH. 540-966-3027

rpierison@rbnet.com

DWGS/CHESTNUT STREET

THIS PLAT WAS CREATED COMPLETELY FROM RECORDS.

WEST
BURWELL
STREET

| SITE DATA: | |
|-------------------------|--|
| PROPERTY TAX PARCEL ID: | 122-9-1 |
| PROPERTY ADDRESS: | 106 CHESTNUT STREET CITY OF SALEM, VIRGINIA |
| PROPERTY DEVELOPER: | VIRGINIA VALLEY PROPERTIES, LLC 5576 SALISBURY DRIVE ROANOKE, VA 24018 |
| PROPERTY ACREAGE: | 31,365 SF = 0.720 ACRES TOTAL |
| PROPERTY ZONING: | RMF (RESIDENTIAL MULTI-FAMILY) |
| CURRENT USE TYPE: | VACANT LOT (SINGLE FAMILY RESIDENCE RAISED 2019) |
| PROPOSED USE TYPE: | INDIVIDUALLY OWNED TOWNHOMES (6 UNITS) |
| MIN. REQUIRED SETBACKS: | FRONT = 50 FT FROM STREET CENTERLINE SIDE = 25 FEET REAR = 25 FEET |
| PROPOSED BUILDING SIZE: | COLLECTIVE TOTAL OF 6 UNITS = 7,957 SF |
| PROPOSED IMPERVIOUS: | 16,580 SF = 53% OF PROPERTY |
| PARKING REQUIREMENTS: | 6 UNITS (2-3 BEDROOMS) x 2 SPACES PER UNIT = 12 TOTAL SPACES REQUIRED |
| PROPOSED PARKING: | 6 UNIT SPACES IN DRIVEWAYS + 6 SHARED SPACES OFF PRIVATE DRIVE = 12 TOTAL SPACES PROVIDED |
| WATER SUPPLY: | PUBLIC - CITY OF SALEM |
| SANITARY SEWER: | PUBLIC - CITY OF SALEM |
| PROPOSED SITE LIGHTING: | NO EXTERIOR LIGHTING PROPOSED OTHER THAN PORCH LIGHTS WHICH WILL BE MOUNTED DIRECTLY TO TOWNHOUSES |
| PROPOSED LANDSCAPING: | SEE SHEET 3 FOR REQUIREMENTS |
| PROPOSED SOLID WASTE: | EACH TOWNHOUSE UNIT WILL UTILIZE ITS OWN CITY STANDARD ROLLOUT TRASHCANS ("TOTER") |

SITE DEVELOPMENT PLANS

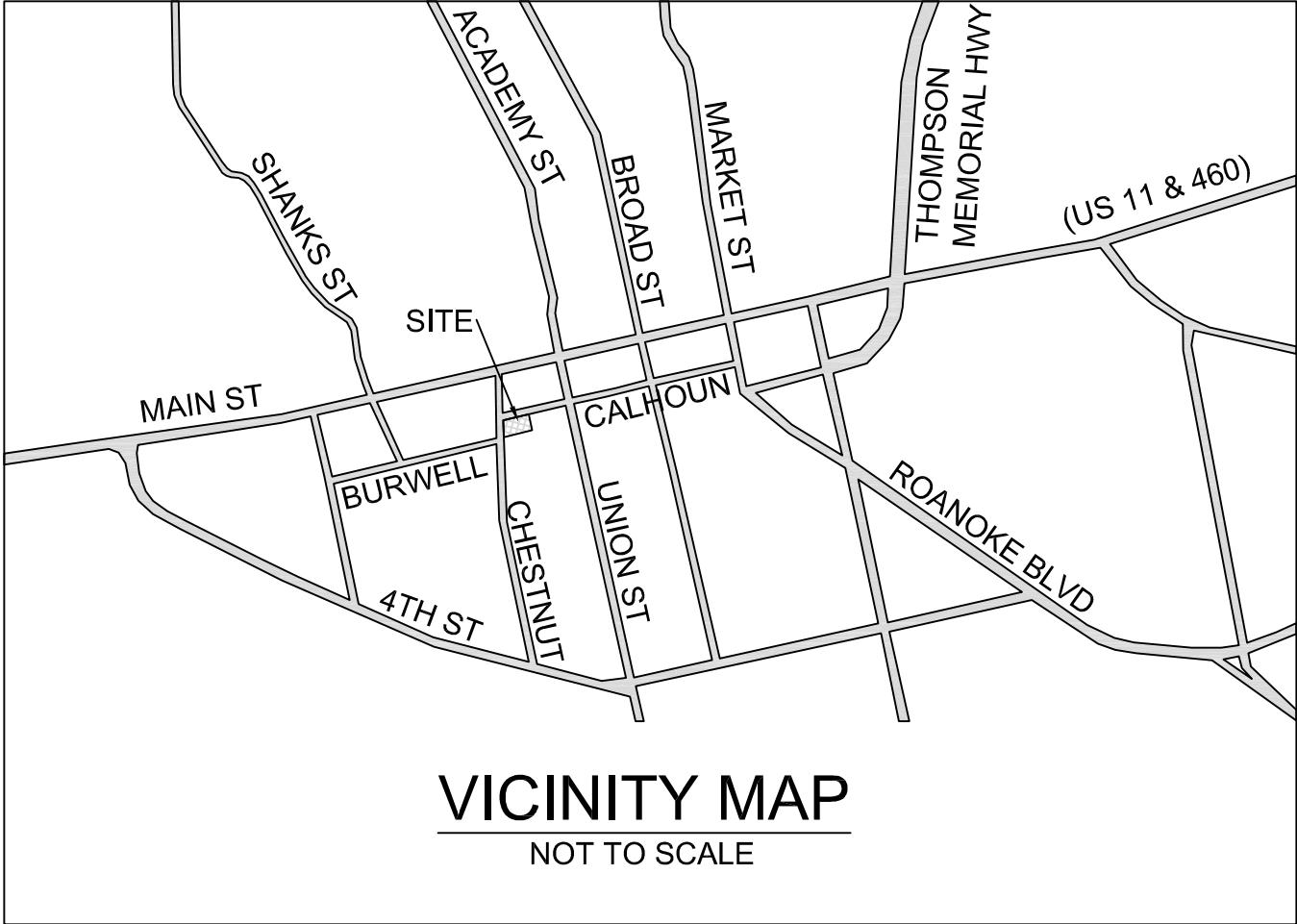
FOR A NEW TOWNHOUSE DEVELOPMENT

TO BE KNOWN AS

CALHOUN TOWNHOMES

| PROJECT CONTACTS: | |
|--------------------|--|
| DEVELOPER: | VIRGINIA VALLEY PROPERTIES, LLC ATTN: DR. AYUB MIRZA 5576 SALISBURY DRIVE ROANOKE, VA 24018 (540) 588-0207 AYOUBMIRZA@GMAIL.COM |
| BUILDING DESIGNER: | ALAM DESIGN GROUP ATTN: AMINA OULMI 4311 APPLETON AVENUE, NW ROANOKE, VA 24017 (540) 966-3635 AMINA@ALAMDESIGNGROUP.COM |
| CIVIL ENGINEER: | BRUSHY MOUNTAIN ENGINEERING, PLLC ATTN: BARNEY HORRELL, P.E. 3553 CARVINS COVE ROAD SALEM, VA 24153 (540) 526-6800 BARNEY@BRUSHYMTNENGR.COM |
| CONTRACTOR: | FAMILY BUILDERS, LLC ATTN: AMINA OULMI P.O. BOX 770 DALEVILLE, VA 24083 (540) 966-3635 PHONE AMINA@ALAMDESIGNGROUP.COM |

| PLAN SET SHEET INDEX: | | |
|-----------------------|-----------------|---|
| # | SHEET NAME | DESCRIPTION |
| 1 | COVER | COVER SHEET & GENERAL DEVELOPMENT NOTES |
| 2 | EXISTING / DEMO | EXISTING CONDITIONS / DEMOLITION PLAN |
| 3 | LAYOUT | DIMENSIONED SITE LAYOUT PLAN |
| 4 | GRADING / ESCP | GRADING & EROSION SEDIMENT CONTROL PLAN |
| 5 | UTILITY / STORM | UTILITY / STORMWATER BMP PLAN |
| 6 | LANDSCAPE | ZONING COMPLIANCE & LANDSCAPE PLAN |
| 7 | ESCP NARRATIVE | ESCP NARRATIVE OF PROJECT BMP'S |
| 8 | SWPPP | STORMWATER POLLUTION PREVENTION PLAN |



TOTAL DISTURBED AREA

TOTAL DISTURBED AREA = 34,900 SQ.FT.
= 0.801 ACRES

GENERAL SITE DEVELOPMENT NOTES:

- CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE HEALTH AND SAFETY OF EMPLOYEES, SUB-CONTRACTORS, INSPECTORS, AND APPROVED VISITORS TO THE SITE DURING ALL PHASES OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS FOR CONSTRUCTION PRIOR TO COMMENCING ANY WORK.
- CONTRACTOR SHALL REQUEST THE LOCATION MARKING OF ALL EXISTING UTILITIES WITHIN THE PROJECT AREA BEFORE ANY SITE DISTURBANCE ACTIVITIES. THIS REQUEST SHALL BE MADE THRU "VA 811" AT LEAST TWO (2) DAYS BUT NOT MORE THAN TEN (10) DAYS PRIOR TO COMMENCING WORK. "VA 811" IS AVAILABLE AT 811 OR 1-800-552-7001.
- EXISTING SITE CONDITIONS AND UTILITY LOCATIONS ARE BASED ON INFORMATION OF RECORD, FIELD OBSERVATIONS, AND FIELD SURVEY MEASUREMENTS OF ABOVEGROUND STRUCTURES. CONTRACTOR RESPONSIBLE FOR VERIFYING EXACT LOCATIONS OF UNDERGROUND UTILITY MAINS, STRUCTURES, AND SERVICE LATERALS. CONTRACTOR SHALL NOTIFY CITY OF SALEM AND PROJECT ENGINEER IF FIELD CONDITIONS ARE FOUND TO BE SIGNIFICANTLY DIFFERENT THAN AS SHOWN ON THESE PLANS.
- CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL FRANCHISE UTILITY LATERALS INCLUDING ELECTRIC, GAS, TELECOMMUNICATIONS, AND CABLE TV. THESE LATERALS ARE NOT INCLUDED IN THIS PLAN SET.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY DAMAGE TO EXISTING UTILITIES CAUSED BY CONSTRUCTION ACTIVITIES.
- ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE LATEST VERSION OF THE STANDARDS AND SPECIFICATIONS OF THE CITY OF SALEM AND THE VIRGINIA DEPARTMENT OF TRANSPORTATION.
- UNLESS SHOWN OR SPECIFIED OTHERWISE, ALL SITE WORK SHALL CONFORM TO THE LATEST VERSION OF THE VDOT ROAD AND BRIDGE STANDARDS. THE MINIMUM REQUIRED DENSITY FOR ALL COMPACTION IS 95% OF MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT WITHIN +/-2% OF OPTIMUM. CONTRACTOR SHALL VERIFY SUITABILITY OF FILL MATERIAL USED UNDER BUILDING SLABS AND PAVED AREAS.
- ALL WORK SHALL BE SUBJECT TO INSPECTION BY REPRESENTATIVES FROM THE CITY OF SALEM, VDOT, AND THE PROJECT ENGINEER. CONTRACTOR RESPONSIBLE FOR SCHEDULING ALL NECESSARY INSPECTIONS.
- CONTRACTOR SHALL MAINTAIN A HARD COPY OF THESE APPROVED SITE PLANS ON SITE AT ALL TIMES. THIS COPY OF APPROVED PLANS SHALL BE MADE AVAILABLE TO THE INSPECTORS UPON REQUEST.
- CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL DEBRIS GENERATED DURING CONSTRUCTION PROCESSES. THIS INCLUDES CLEANING ANY MUD THAT IS TRACKED OR WASHES ONTO PUBLIC STREETS AND SIDEWALKS.
- NO BURIAL OR BURNING OF WASTE MATERIAL IS ALLOWED.
- THESE PLANS WERE PREPARED WITHOUT THE BENEFIT OF A SITE SOILS STUDY. THE CONTRACTOR IS RESPONSIBLE FOR COMPLETING SUFFICIENT SITE INVESTIGATION TO IDENTIFY SITE SOIL LIMITATIONS AND CHALLENGES FOR INSTALLATION OF SUB-SURFACE UTILITIES AND FOUNDATIONS.
- THESE PLANS ARE LIMITED TO THE DESIGN OF THE SITE IMPROVEMENTS FIVE (5) FEET OUTSIDE OF THE BUILDING ENVELOPE. ARCHITECTURAL PLANS SHALL INCLUDE ALL NECESSARY FOUNDATION AND STRUCTURAL DESIGN. PROPOSED BUILDING OUTLINE AND DIMENSIONS SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. THE BUILDING DRAWINGS SHALL BE REFERENCED FOR EXACT DIMENSIONS AND FOUNDATION LAYOUT.



CALL 811 OR 1-800-552-7001 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION

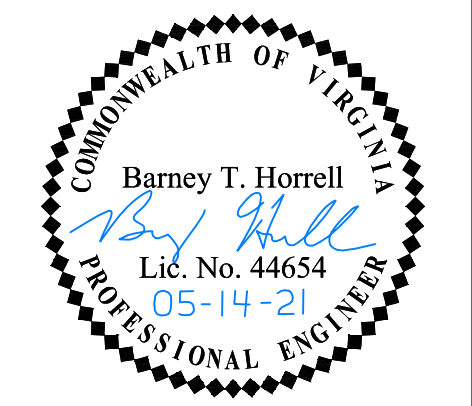
| LEGEND | |
|--------|-------------------------|
| PL | PROPERTY LINE |
| PL | NEW LOT LINE |
| PL | EDGE OF PAVEMENT |
| | TREELINE |
| | FENCELINE |
| | SILT FENCE |
| | EXISTING CONTOUR |
| | PROPOSED CONTOUR |
| | WATER MAIN |
| | SANITARY SEWER MAIN |
| | GAS MAIN |
| | OVERHEAD ELECTRIC |
| | UNDERGROUND ELECTRIC |
| | OVERHEAD TELECOM |
| | UNDERGROUND FIBER OPTIC |
| | EXISTING PAVEMENT |
| | PROPOSED PAVEMENT |
| | CONCRETE |
| | GRAVEL |
| | PROPOSED SPOT ELEVATION |
| | WATER MANHOLE |
| | WATER VALVE |
| | FIRE HYDRANT |
| | SANITARY MANHOLE |
| | SANITARY CLEANOUT |
| | STORM MANHOLE |
| | CATCH BASIN INLET |
| | ELECTRIC POLE |

| DATE | REVISIONS |
|------------|---------------------------|
| 03/16/2021 | 1ST SUBMITTAL CITY REVIEW |
| 04/23/2021 | 2ND SUBMITTAL CITY REVIEW |
| 05/14/2021 | 3RD SUBMITTAL CITY REVIEW |
| | |
| | |
| | |
| | |
| | |
| | |

| # | SITE DEVELOPMENT PLANS |
|---|------------------------|
| 1 | FOR |
| 2 | CALHOUN TOWNHOMES |
| 3 | |
| 4 | |
| 5 | |
| 6 | |
| 7 | |
| 8 | |

TAX PARCEL ID: 122-9-1
106 CHESTNUT STREET
CITY OF SALEM, VIRGINIA

| | |
|--------------------------------------|--|
| BRUSHY MOUNTAIN ENGINEERING, PLLC | 3553 Carvins Cove Road Salem, VA 24153 (540) 526-6800 www.brushymtnengr.com |
|--------------------------------------|--|



| |
|--------------|
| BME JOB # |
| 20-024 |
| SHEET NAME |
| COVER |
| SHEET NUMBER |
| 1 OF 8 |

Plate 3.02-1

A cross-sectional diagram of a dam. On the left, wavy lines represent water. A concrete dam structure with a spillway on top is shown. The dam is supported by a foundation on the right, which is depicted with horizontal hatching. The interior of the dam is filled with a cross-hatched pattern.

POINTS A SHOULD BE HIGHER THAN POINT B.
DRAINAGEWAY INSTALLATION
(FRONT ELEVATION)

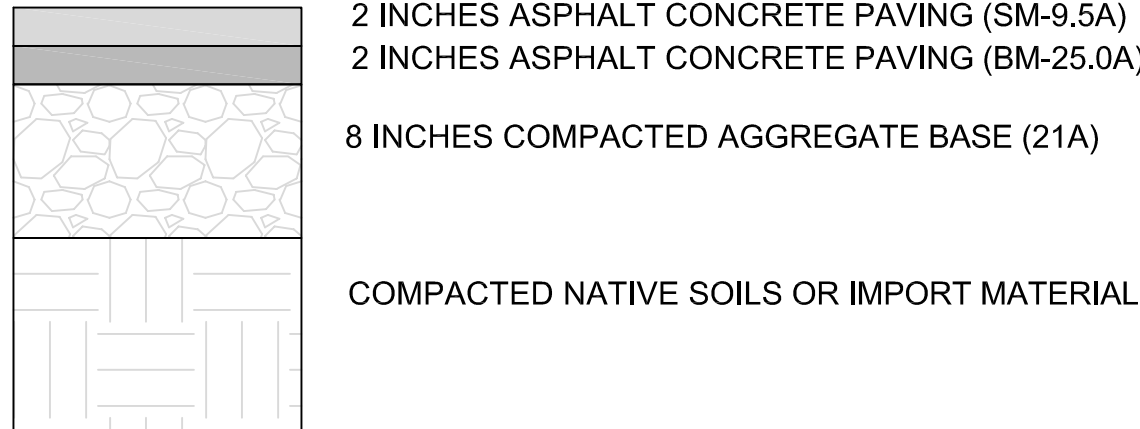
PLATE. 3.05-2

2 OF 8



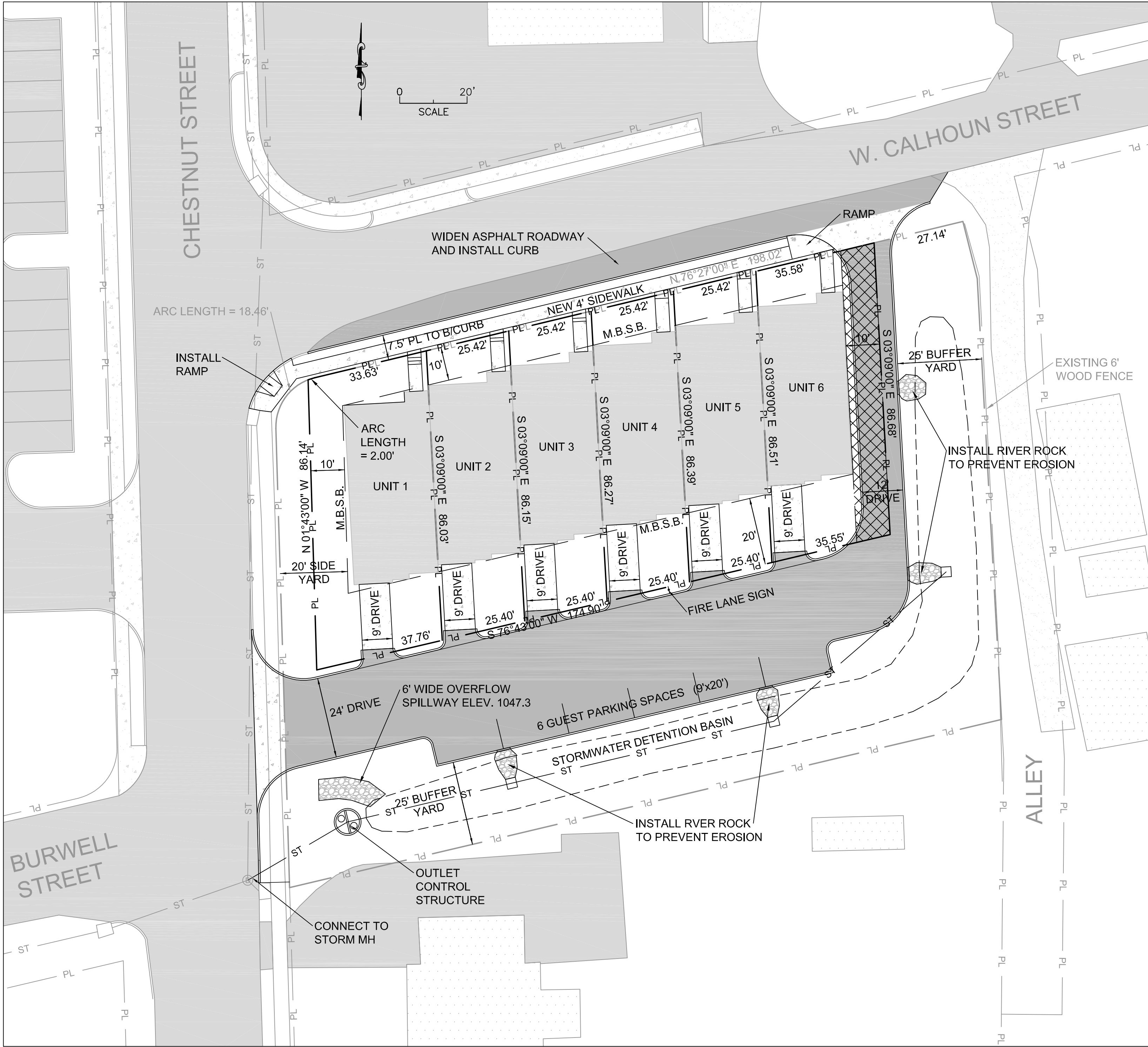
FIRE LANE SIGN
(12\"X18\" MUTCD R8-31)

ASPHALT PAVEMENT CROSS-SECTION



STAKEOUT NOTES:

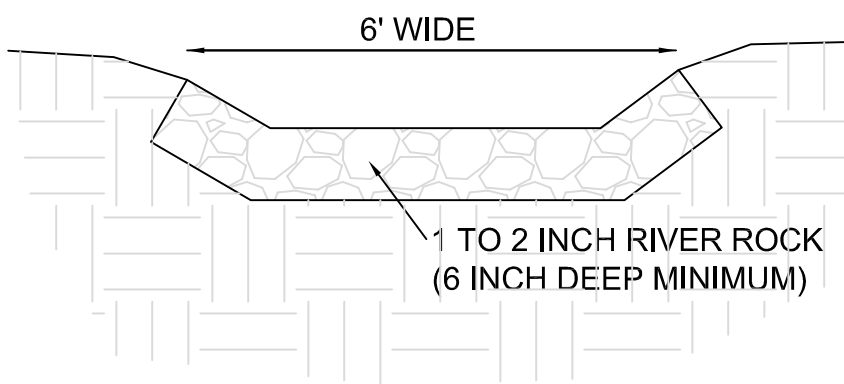
- ALL RADII ARE LABELED TO BACK OF CURB UNLESS OTHERWISE NOTED.
- RADII NOT LABELED ARE 2.5' BACK OF CURB RADII.



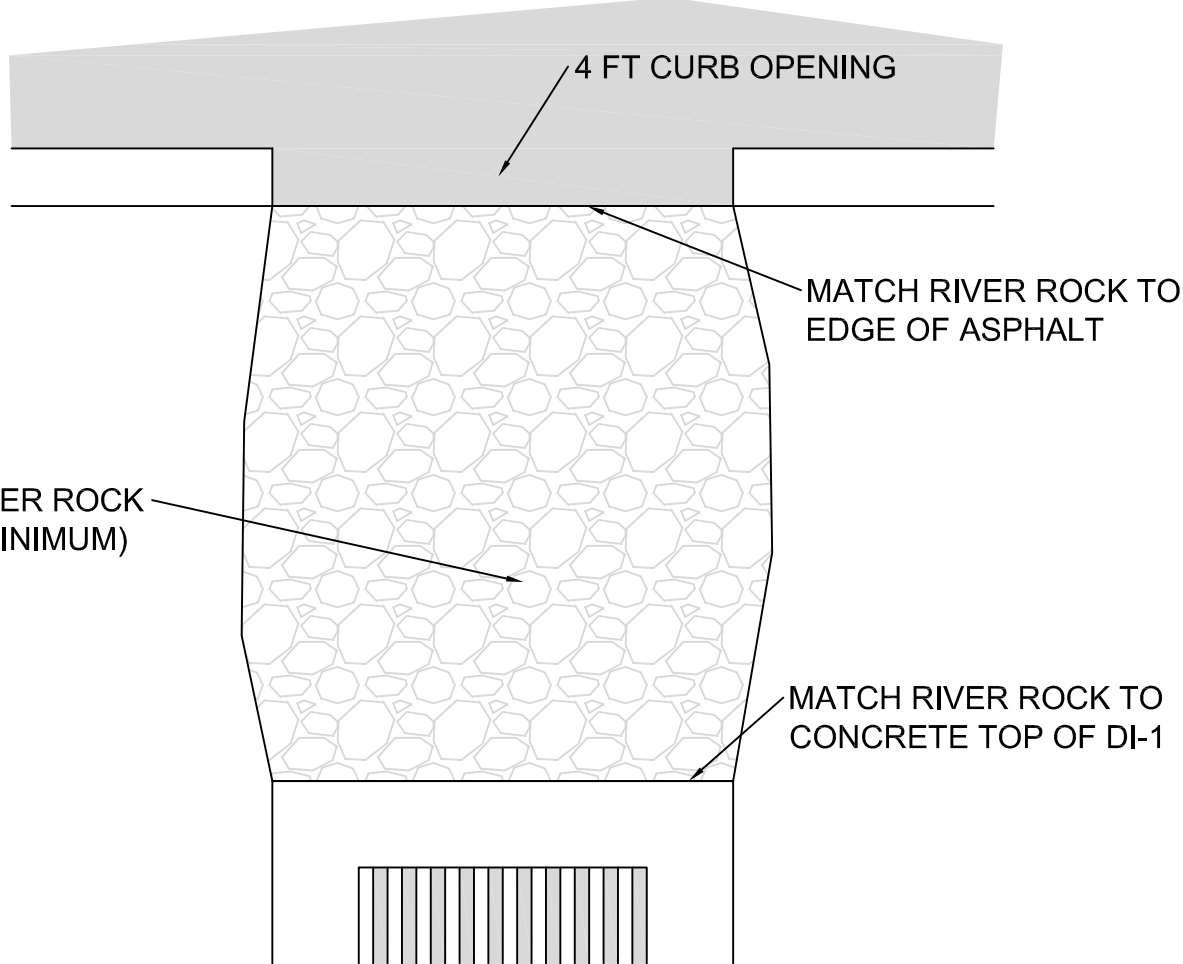
DIMENSIONED SITE LAYOUT PLAN

SCALE: 1\"= 20'

OVERFLOW SPILLWAY DETAIL



CURB OPENING ROCK DETAIL



| NO. | TITLE | KEY | SYMBOL |
|--------|---|------|--------|
| 3.02 | TEMPORARY STONE CONSTRUCTION ENTRANCE | (CE) | |
| 3.05 | SILT FENCE | (SF) | |
| 3.07.1 | SILT FENCE DROP INLET PROTECTION | (IP) | |
| 3.07.8 | BLOCK & GRAVEL CURB INLET SEDIMENT FILTER | (CI) | |
| 3.32 | PERMANENT SEEDING | (PS) | |
| 3.35 | MULCHING (STRAW) | (MU) | |

PRIVATE ACCESS DRIVE AND PARKING MAINTENANCE:

THE PROPOSED SHARED ACCESS DRIVE AND PARKING SPACES ARE PRIVATE AND SHALL BE MAINTAINED BY THE DEVELOPER / HOMEOWNERS ASSOCIATION. THE CITY HAS NO OBLIGATION TO REPAIR ASPHALT, CLEAR SNOW, OR OTHERWISE MAINTAIN THE PRIVATE DRIVE OR PARKING AREA.

REQUIRED PARKING CALCULATION:

NUMBER OF PARKING SPACES REQUIRED IS BASED ON NUMBER OF BEDROOMS IN EACH UNIT. ALL UNITS ARE 3 BEDROOM UNITS. PER ZONING CODE 106-404.17, 2 & 3 BEDROOM TOWNHOME UNITS REQUIRE 2 OFF-STREET PARKING SPACES PER UNIT. EACH UNIT HAS A 9'X20' PARKING SPACE IN ITS OWN DRIVEWAY. THERE ARE 6 SHARED GUEST PARKING SPACES OFF OF THE PRIVATE DRIVE. THESE ARE LOCATED IN THE SHARED ACCESS EASEMENT SO THAT ANY UNIT MAY MAKE USE OF THE GUEST SPACES.

ACTUAL BUILDING DIMENSIONS:

OUTLINE OF PROPOSED BUILDING IS APPROXIMATE ONLY AND BASED ON LATEST AVAILABLE ARCHITECTURAL PLANS AT TIME OF THIS SUBMITTAL. SEE FINAL APPROVED ARCHITECTURAL PLANS FOR EXACT DIMENSIONS OF BUILDING.

PROPOSED LOT DIMENSIONS:

PROPOSED LOT DIMENSIONS SHOWN ARE APPROXIMATE. CONSULT SUBDIVISION PLAT PREPARED BY PIERSON ENGINEERING & LAND SURVEYING, INC. FOR ACTUAL LOT DIMENSIONS.

SOLID WASTE REMOVAL:

EACH TOWNHOUSE UNIT WILL HAVE ITS OWN STANDARD CITY ROLLOUT TRASHCAN (TOTER). UNIT OWNERS WILL BE RESPONSIBLE FOR MOVING THEIR TOTER TO THE DESIGNATED CITY PICKUP LOCATION FOR PICK UP. THE CITY WILL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE PRIVATE ACCESS DRIVE CAUSED BY REGULAR TRAFFIC FROM CITY TRASH TRUCKS.

NOTE: EXISTING SITE CONDITIONS AND UTILITY LOCATIONS ARE BASED ON INFORMATION OF RECORD, FIELD OBSERVATIONS, AND FIELD SURVEY BY PIERSON ENGINEERING & SURVEYING COMPLETED DECEMBER 2020. CONTRACTOR RESPONSIBLE FOR VERIFYING EXACT LOCATIONS OF UNDERGROUND UTILITY MAINS, STRUCTURES, AND SERVICE LATERALS. CONTRACTOR SHALL NOTIFY CITY OF SALEM AND PROJECT ENGINEER IF FIELD CONDITIONS ARE FOUND TO BE SIGNIFICANTLY DIFFERENT THAN AS SHOWN ON THESE PLANS.

| DATE | REVISIONS | # |
|------------|---------------------------|---|
| 03/16/2021 | 1ST SUBMITTAL CITY REVIEW | 1 |
| 04/23/2021 | 2ND SUBMITTAL CITY REVIEW | 2 |
| 05/14/2021 | 3RD SUBMITTAL CITY REVIEW | 3 |
| | | |
| | | |
| | | |
| | | |
| | | |

SITE DEVELOPMENT PLANS

FOR
CALHOUN TOWNHOMES

TAX PARCEL ID: 122-9-1
106 CHESTNUT STREET
CITY OF SALEM, VIRGINIA

BRUSHY MOUNTAIN
ENGINEERING, PLLC

3553 Carvins Cove Road
Salem, VA 24153
(540) 526-6800
www.brushymtnengr.com



BME JOB #
20-024

SHEET NAME
LAYOUT

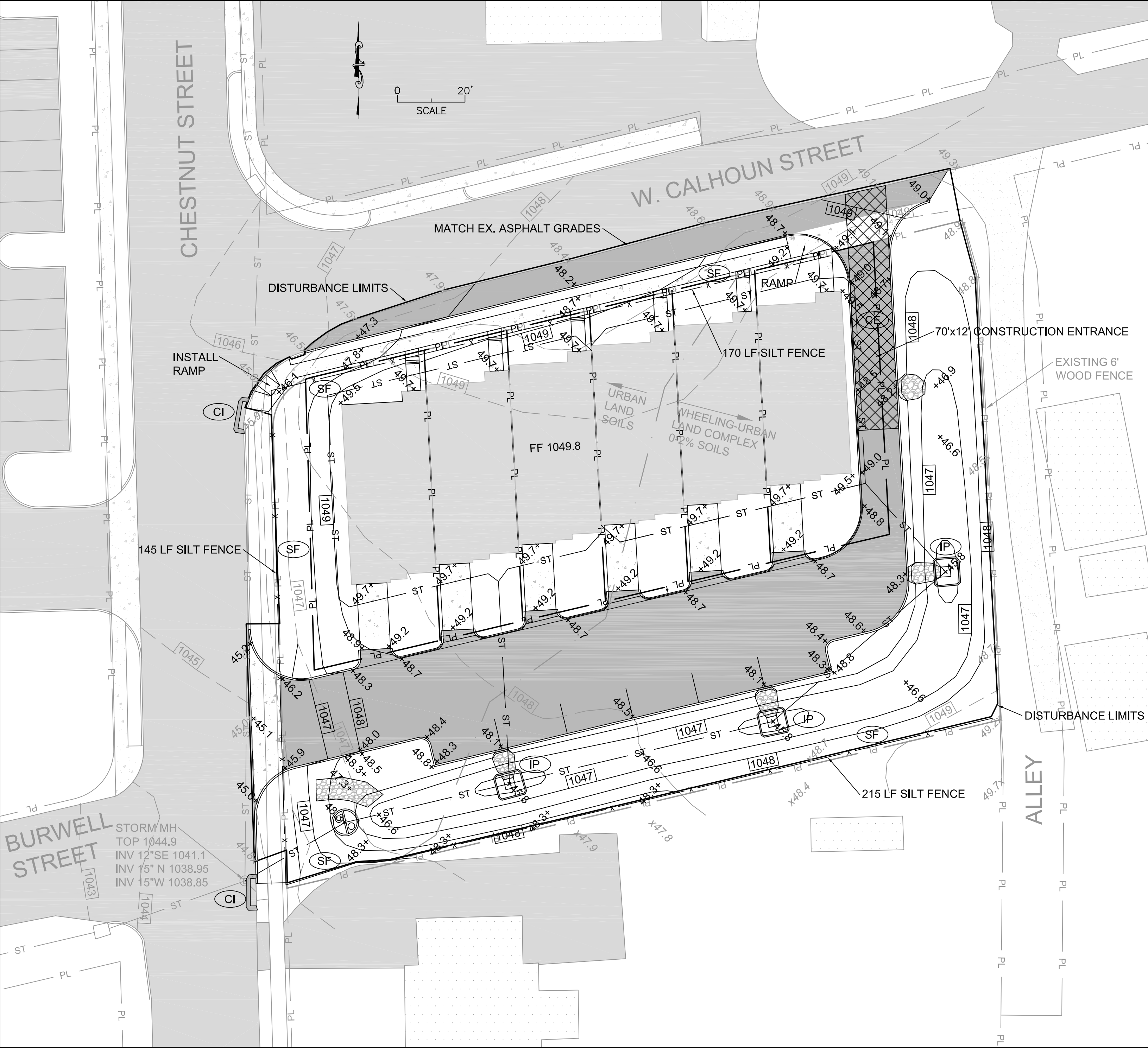
SHEET NUMBER
3 OF 8

NOTE: EXISTING SITE CONDITIONS AND UTILITY LOCATIONS ARE BASED ON INFORMATION OF RECORD, FIELD OBSERVATIONS, AND FIELD SURVEY BY PIERSON ENGINEERING & SURVEYING COMPLETED DECEMBER 2020. CONTRACTOR RESPONSIBLE FOR VERIFYING EXACT LOCATIONS OF UNDERGROUND UTILITY MAINS, STRUCTURES, AND SERVICE LATERALS. CONTRACTOR SHALL NOTIFY CITY OF SALEM AND PROJECT ENGINEER IF FIELD CONDITIONS ARE FOUND TO BE SIGNIFICANTLY DIFFERENT THAN AS SHOWN ON THESE PLANS.

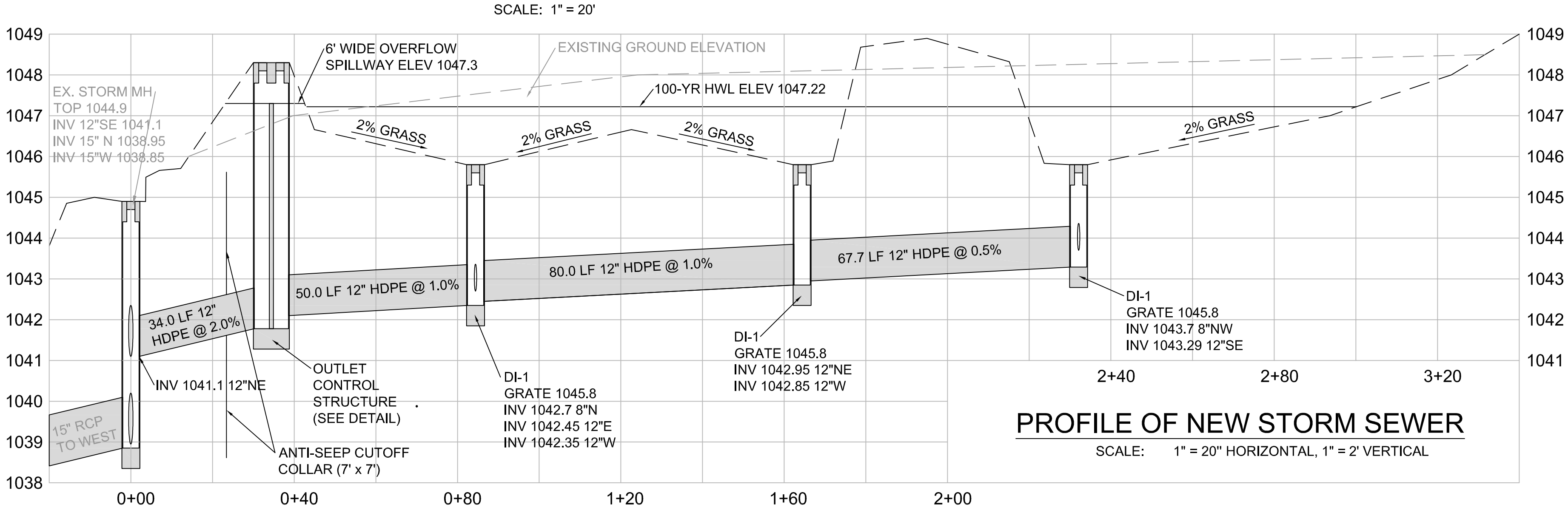
| FINAL BMP ELEVATION VS. STORAGE TABLE | | | |
|---------------------------------------|-----------------------|-----------------------------|----------------------------|
| ELEVATION | CONTOUR AREA (SQ.FT.) | INCREMENTAL VOLUME (CU.FT.) | CUMULATIVE VOLUME (CU.FT.) |
| 1045.8 | 0 | 0 | 0 |
| 1046.0 | 280 | 28 | 28 |
| 1047.0 | 2,940 | 1,610 | 1,638 |
| 1047.22 | 100-YEAR HWL | | 2,567 |
| 1048.0 | 5,400 | 4,170 | 5,808 |
| 1048.3 | 6,820 | 1,833 | 7,641 |

EROSION CONTROL BOND ESTIMATE

| ITEM | QUANTITY | UNITS | UNIT COST | COST |
|---------------------------------------|----------|------------------------|-----------|-----------|
| TEMPORARY STONE CONSTRUCTION ENTRANCE | 1 | EACH | \$ 1,200 | \$ 1,200 |
| SILT FENCE | 530 | LF | \$ 4 | \$ 2,120 |
| DROP INLET PROTECTION | 3 | EACH | \$ 200 | \$ 600 |
| CURB INLET FILTER | 2 | EACH | \$ 200 | \$ 400 |
| TEMPORARY SEEDING | 25 | 1,000 SQ.FT. DISTURBED | \$ 40 | \$ 1,000 |
| PERMANENT SEEDING | 25 | 1,000 SQ.FT. DISTURBED | \$ 50 | \$ 1,250 |
| MULCHING (STRAW) | 25 | 1,000 SQ.FT. DISTURBED | \$ 5 | \$ 125 |
| LANDSCAPE PLANTINGS | 1 | LUMP SUM | \$ 8,000 | \$ 8,000 |
| CALHOUN STREET WIDENING | 1 | LUMP SUM | \$ 7,500 | \$ 7,500 |
| NEW CONCRETE SIDEWALK | 780 | SQ.FT. | \$ 8 | \$ 6,240 |
| CONCRETE DRIVE ENTRANCE | 2 | EACH | \$ 3,000 | \$ 6,000 |
| TEMPORARY SEDIMENT BASIN | 1 | LUMP SUM | \$ 2,500 | \$ 2,500 |
| 1 TO 2 INCH RIVER ROCK | 8 | CU.YD. | \$ 75 | \$ 600 |
| OUTLET CONTROL STRUCTURE | 1 | LUMP SUM | \$ 5,000 | \$ 5,000 |
| DI-1 STORM INLET | 3 | EA | \$ 3,000 | \$ 3,000 |
| 12" HDPE STORM SEWER | 232 | LF | \$ 35 | \$ 8,120 |
| AS-BUILT SURVEY | 1 | LUMP SUM | \$ 2,000 | \$ 2,000 |
| SUBTOTAL | | | | \$ 55,335 |
| 10% CONTINGENCY | | | | \$ 5,534 |
| TOTAL PROJECT | | | | \$ 60,869 |



GRADING & EROSION SEDIMENT CONTROL PLAN



PROFILE OF NEW STORM SEWER

| NO. | TITLE | KEY | SYMBOL |
|--------|---|-----|----------|
| 3.02 | TEMPORARY STONE CONSTRUCTION ENTRANCE | CE | [Symbol] |
| 3.05 | SILT FENCE | SF | [Symbol] |
| 3.07.1 | SILT FENCE DROP INLET PROTECTION | IP | [Symbol] |
| 3.07.8 | BLOCK & GRAVEL CURB INLET SEDIMENT FILTER | CI | [Symbol] |
| 3.32 | PERMANENT SEEDING | PS | [Symbol] |
| 3.35 | MULCHING (STRAW) | MU | [Symbol] |

EROSION CONTROL NOTES

- * ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE VIA THIS CONSTRUCTION ENTRANCE.
- * CONTRACTOR SHALL IMMEDIATELY NOTIFY CITY OF SALEM AND BRUSHY MOUNTAIN ENGINEERING IF DISTURBANCE LIMITS INCREASE AT ANY TIME DURING CONSTRUCTION.
- * CONTRACTOR IS SOLELY RESPONSIBLE FOR REGULARLY INSPECTING AND MAINTAINING ALL EROSION AND SEDIMENT CONTROL MEASURES IN GOOD WORKING ORDER THROUGHOUT THE ENTIRE PERIOD OF CONSTRUCTION ACTIVITIES AND ON UNTIL SUCH TIME THAT PERMANENT SEEDING HAS BEEN ESTABLISHED IN ALL AREAS.

SITE SOIL TYPES:

- EASTERN PORTION OF PROPERTY = URBAN LAND SOILS
- WESTERN PORTION OF PROPERTY = WHEELING-URBAN LAND COMPLEX, 0-2% SLOPES
- NOTE: SITE SOIL TYPE BASED ON USDA MAPPING. NO SOIL SAMPLES OR TESTING WERE PERFORMED TO CONFIRM THIS DESIGNATION.

TOTAL DISTURBED AREA

TOTAL DISTURBED AREA = 34,900 SQ.FT.
= 0.801 ACRES

DATE

03/16/2021

04/23/2021

05/14/2021

REVISIONS

1ST SUBMITTAL CITY REVIEW

2ND SUBMITTAL CITY REVIEW

3RD SUBMITTAL CITY REVIEW

#

1

2

3

SITE DEVELOPMENT PLANS

FOR

CALHOUN TOWNHOMES

TAX PARCEL ID: 122-9-1

106 CHESTNUT STREET

CITY OF SALEM, VIRGINIA

BRUSHY MOUNTAIN ENGINEERING, PLLC

3553 Carvins Cove Road

Salem, VA 24153

(540) 526-6800

www.brushymtnengr.com

BME

COMMONWEALTH OF VIRGINIA

Barney T. Horrell

Prof. Eng. No. 44654

05-14-21

PROFESSIONAL ENGINEER

BME JOB #

20-024

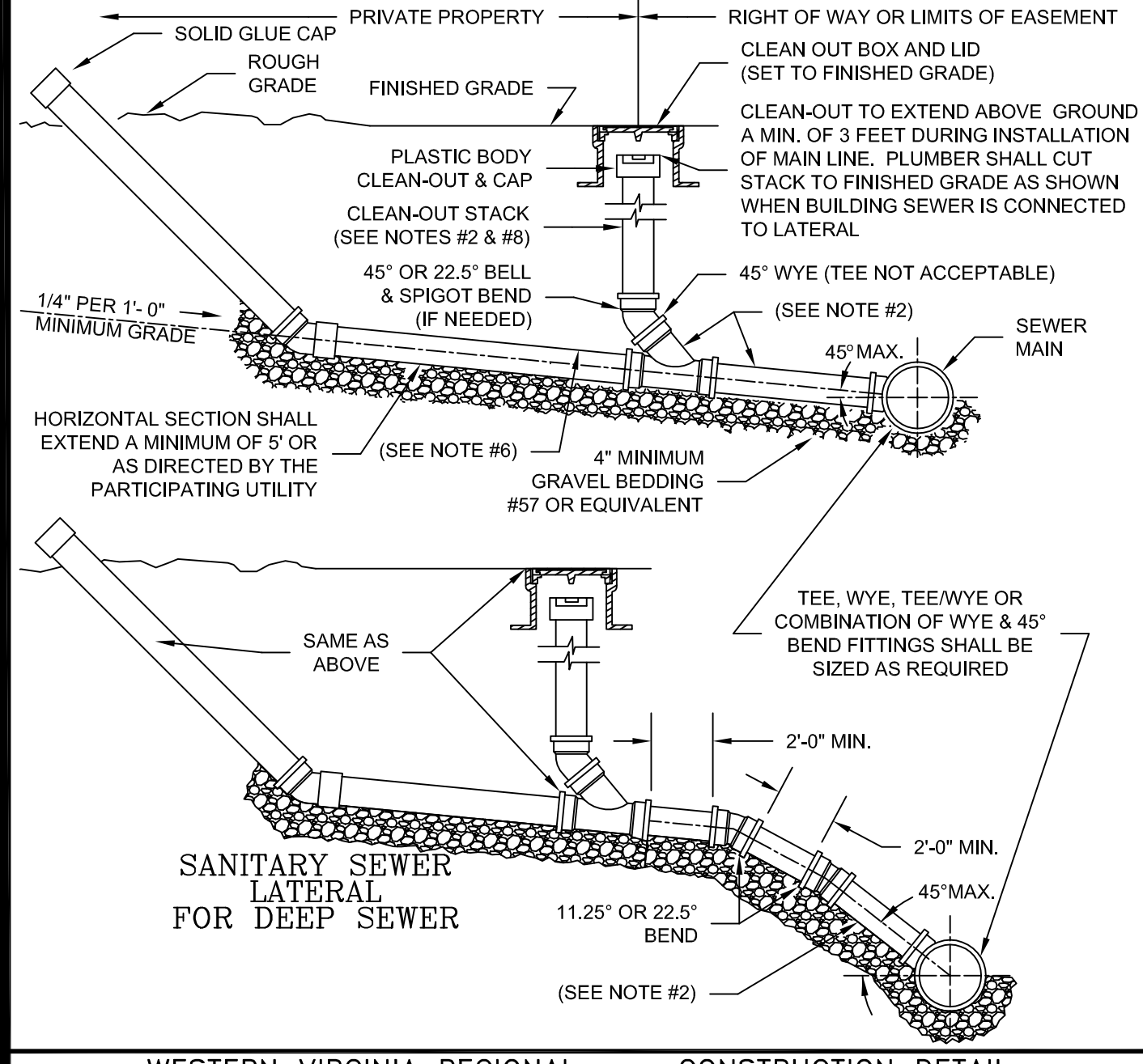
SHEET NAME

GRADING / ESCP

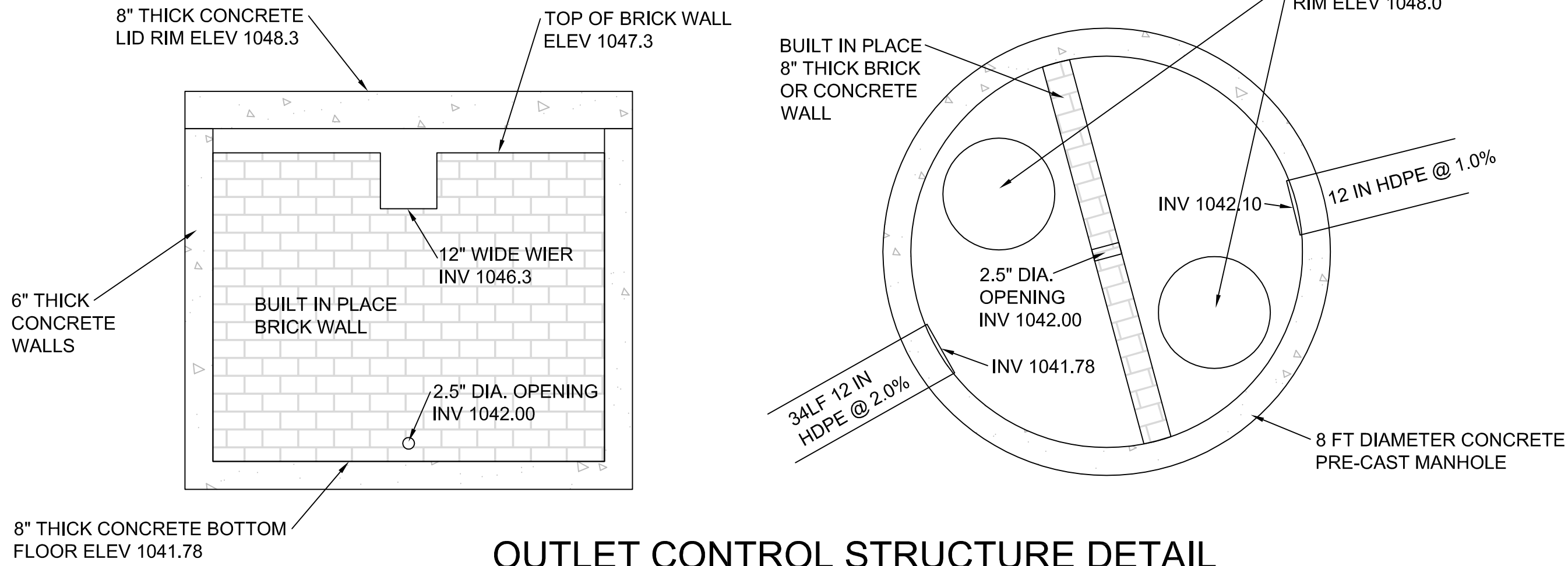
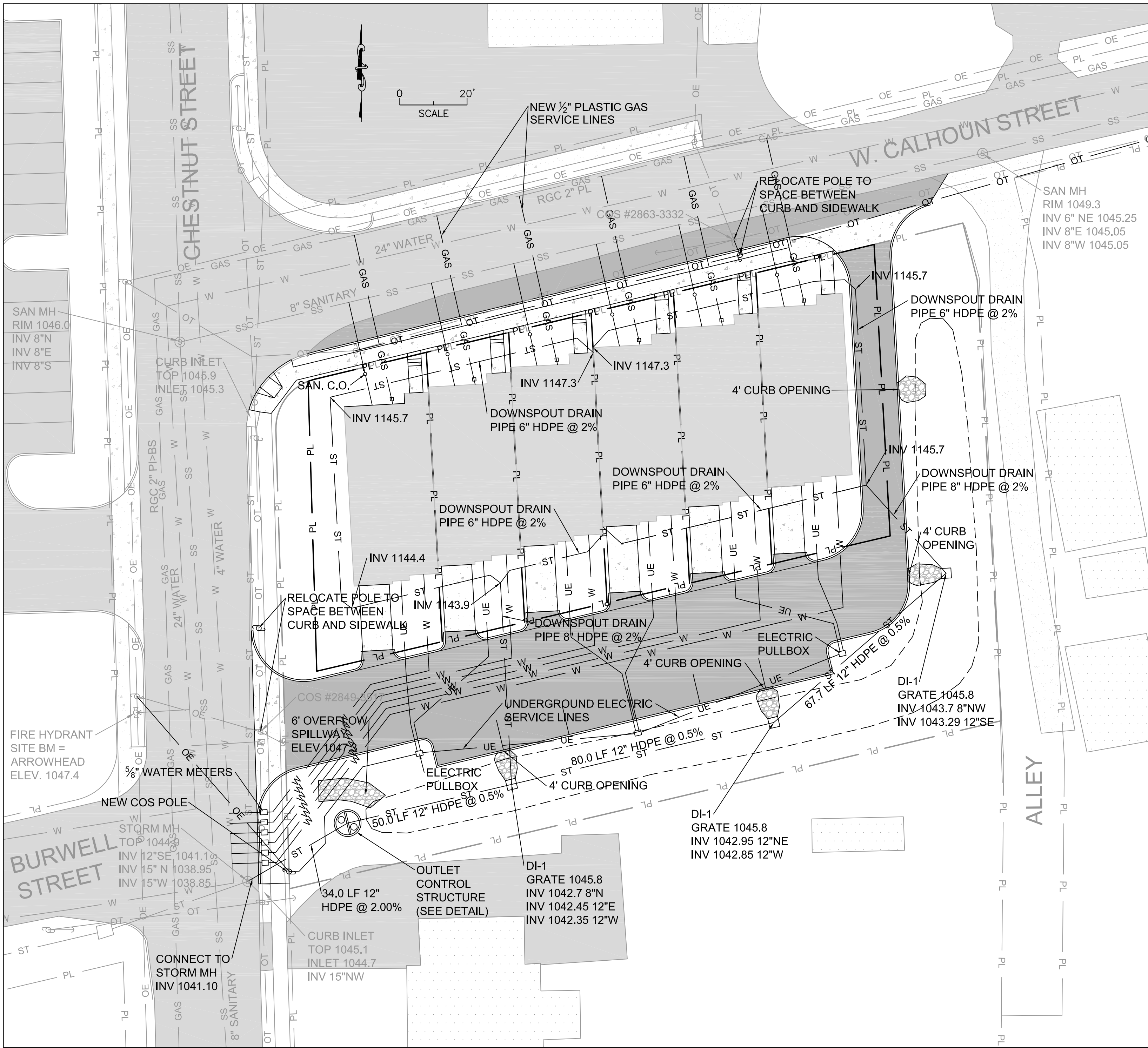
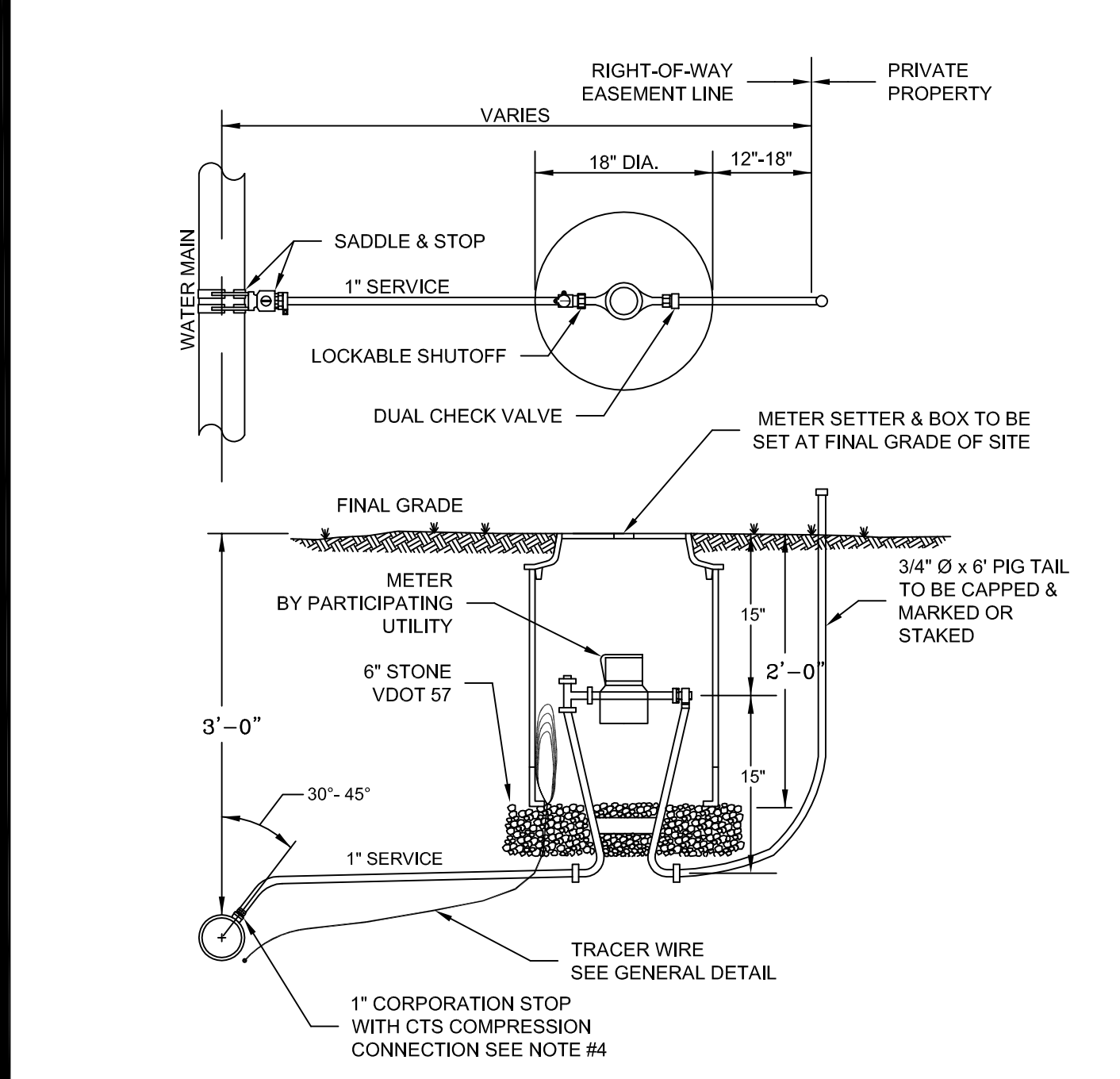
SHEET NUMBER

4 OF 8

1. TRAFFIC BEARING BOX AND LID REQUIRED IN TRAFFIC AREAS (CAPITOL FOUNDRY VB-8'S).
2. SEWER LATERAL AND CLEANOUT PIPING SHALL BE ASTM D3034 SDR 26. SEWER LATERAL FITTINGS SHALL BE OF SAME SDR RATING AS THE SEWER MAIN. SCHEDULE 40 SOLVENT WELD PIPE AND FITTINGS MAY BE USED FOR THE SEWER LATERAL AND CLEANOUT ASSEMBLY WITH APPROVAL FROM THE PARTICIPATING UTILITY.
3. ALL PIPE SHALL BE OF SAME SIZE.
4. NO BENDS ARE ALLOWED IN THE LATERAL FROM THE MAIN TO THE CLEANOUT STACK WYE. (EXCEPT FOR DEEP SEWER, AS SHOWN BELOW).
5. ALL MAIN LINE TAPS ON ACTIVE MAINS SHALL BE PERFORMED BY PARTICIPATING UTILITY.
6. PIPING ON PRIVATE SIDE OF CLEANOUT TO BE INSTALLED PER GOVERNING JURISDICTION REQUIREMENTS.
7. MINIMUM LATERAL SIZE: 4" FOR RESIDENTIAL SERVICE, 6" FOR NON-RESIDENTIAL SERVICE.
8. SEWER CLEANOUTS SHALL BE SAME SIZE AS SEWER LATERAL.
9. MINIMUM COVER FOR ALL SEWER LATERALS SHALL BE THREE (3) FEET.
10. PROPERTY OWNER RESPONSIBLE FOR INSTALLING CLEANOUT ON PROPERTY LINE (IN ACCORDANCE WITH THIS DETAIL) WHEN MAINTENANCE OCCURS.
11. LOWEST SERVED FINISHED FLOOR ELEVATION SHALL BE A MINIMUM OF THREE FEET (3') ABOVE THE TOP OF THE MAIN AT THE POINT WHERE THE SERVICE LATERAL CONNECTS TO THE MAIN.
12. WHEN CONNECTING TO EXISTING LATERAL USE FERNCO FLEXIBLE COUPLING.



1. SETTER TO BE A.Y. McDONALD 720-215/WDD33, FORD VBHH72-15W-11-33 OR APPROVED EQUAL.
2. SADDLES MUST BE USED WITH ALL PLASTIC & DUCTILE IRON PIPE. SERVICE SADDLES SHALL BE USED IN ACCORDANCE WITH WATER DISTRIBUTION PIPING SPECIFICATION. SERVICE SADDLES FOR PLASTIC PIPE SHALL BE: POWERSAL 3417, OR 3412AS, ROMAC 202S, OR 306, OR FORD METER FS202 OR FS303. FOR DUCTILE IRON PIPE USE THE ABOVE OR POWERSAL 3413, ROMAC 202 OR FORD METER F202.
3. METER BOX SHALL BE CARSON MID-STATES PLASTICS, INC. PLASTIC BOX WITH FORD "A" DOMESTIC SERIES FRAME WITH A NICOR DOMESTIC 12.25 CX LID WITH SENSUS RECESS AND WWA LOGO, ADS CORRUGATED HDPE BOX WITH FORD "A" DOMESTIC SERIES FRAME WITH A NICOR DOMESTIC 12.25 CX LID WITH SENSUS RECESS AND WWA LOGO OR APPROVED EQUAL. METER BOX SHALL NOT BE PLACED IN AREAS SUBJECT TO VEHICULAR TRAFFIC. IF TRAFFIC BEARING BOX IS REQUIRED, DESIGN ENGINEER SHALL CONSULT WITH PARTICIPATING UTILITY TO DETERMINE SITE SPECIFIC REQUIREMENTS.
4. CORPORATION STOP SHALL BE FORD FB1000-4-5-NL, MUELLER B-25008 OR APPROVED EQUAL.
5. SERVICE SHALL BE "K" TYPE COPPER, OR COPPER TUBE SIZE POLYETHYLENE (PE) 4710, SODR-9 (200 psi).
6. WHENEVER SIDEWALK EXISTS OR IS PROPOSED, MODIFY METER LOCATION AS DIRECTED.



| NO. | TITLE | KEY | SYMBOL |
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| 3.07.8 | BLOCK & GRAVEL CURB INLET SEDIMENT FILTER | CI | |
| 3.32 | PERMANENT SEEDING | PS | |
| 3.35 | MULCHING (STRAW) | MU | |

UTILITY NOTES

- * CONTRACTOR SHALL IMMEDIATELY NOTIFY CITY AND BRUSHY MOUNTAIN ENGINEERING IF EXISTING UTILITIES ARE NOT IN LOCATIONS SHOWN FROM FIELD SURVEY.
- * CONTRACTOR SHALL REFERENCE *WESTERN VIRGINIA REGIONAL DESIGN AND CONSTRUCTION STANDARDS* FOR ALL WATER AND SANITARY SEWER CONNECTIONS AND INSTALLATIONS.
- * CONTRACTOR SHALL COORDINATE WITH THE CITY OF SALEM FOR INSTALLATION OF THE SANITARY SEWER AND WATER SERVICE LATERALS AND METERS FROM W. CALHOUN STREET.
- * CITY OF SALEM WILL REMOVE THE EXISTING WATER SERVICE METER AND SANITARY LATERAL TO CHESTNUT STREET.
- * CONTRACTOR SHALL COORDINATE WITH THE CITY OF SALEM FOR INSTALLATION OF UNDERGROUND ELECTRIC SERVICES FROM W. CALHOUN STREET.
- * CONTRACTOR SHALL COORDINATE WITH ROANOKE GAS FOR INSTALLATION OF GAS LATERALS. SEE GAS LATERAL NOTE BELOW.
- * CONTRACTOR SHALL COORDINATE ALL WORK IN THE RIGHT OF WAYS OF W. CALHOUN STREET AND CHESTNUT STREET WITH CITY OF SALEM.

DOWNSPOUT NOTE

- * RUNOFF FROM THE ROOF OF THE PROPOSED BUILDING SHALL BE CAPTURED WITH GUTTERS AND DOWNSPOUTS. DOWNSPOUT DRAINS SHALL OUTLET DIRECTLY INTO THE DETENTION BASIN.

GAS LATERAL NOTE

- * ROANOKE GAS WILL INSTALL 1/2" PLASTIC SERVICE LATERALS FROM EXISTING MAIN IN CALHOUN TO FRONT OF EACH UNIT AND INSTALL A RISER AND METER ALONG FRONT WALL OF UNIT. DEVELOPER/ CONTRACTOR SHALL BE RESPONSIBLE FOR CONNECTION TO THIS METER AND DISTRIBUTION WITHIN EACH UNIT.

STORM SEWER ADEQUACY

USE 10-YEAR STORM EVENT TO ANALYZE STORM SEWER ADEQUACY.

PRE-DEVELOPED PEAK RUNOFF TO MANHOLE SW CORNER OF SITE = 2.44 CFS

POST-DEVELOPED TOTAL SITE DISCHARGE TO MANHOLE SW CORNER OF SITE (DIRECT + BMP DISCHARGE) = 2.15 CFS

THE DEVELOPMENT RESULTS IN A 12% DECREASE IN PEAK FLOW RATE TO EXISTING 15" CONCRETE STORM SEWER. THEREFORE, STORM SEWER WILL HAVE LESS FLOW AND IS ADEQUATE.

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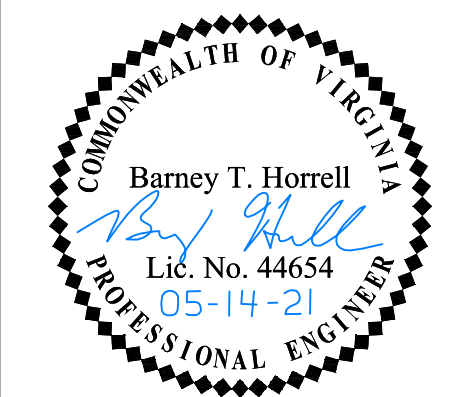
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SITE DEVELOPMENT PLANS

FOR

CALHOUN TOWNHOMES

TAX PARCEL ID: 122-9-1
106 CHESTNUT STREET
CITY OF SALEM, VIRGINIA



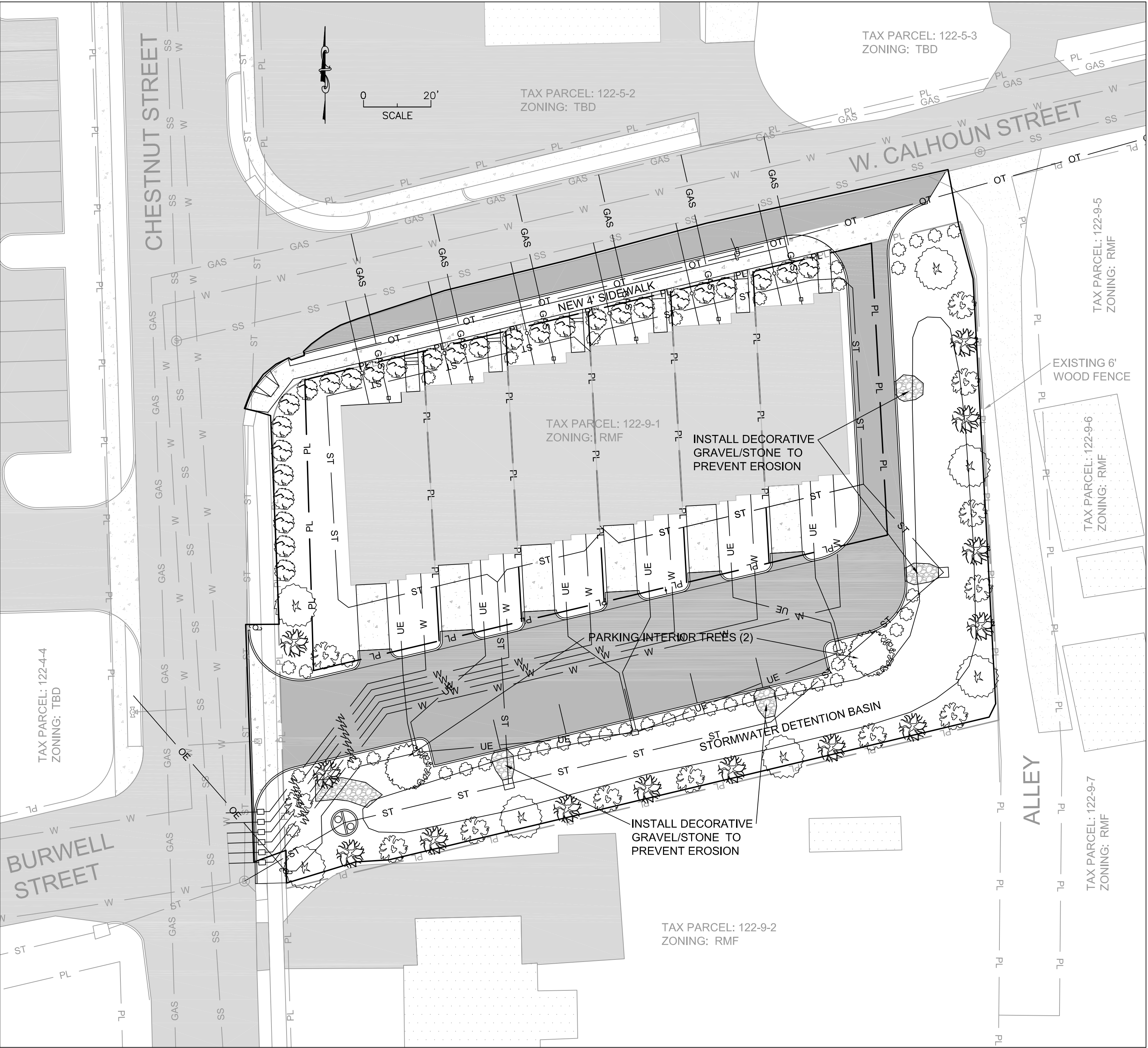
| | |
|--------------|---------|
| BME JOB # | 20-024 |
| SHEET NAME | UTILITY |
| SHEET NUMBER | 5 OF 8 |

| TABLE 3.32-C SITE SPECIFIC SEEDING MIXTURES FOR APPALACHIAN/MOUNTAIN AREA | |
|--|------------------------|
| Minimum Care Lawn | Total Lbs. Per Acre |
| - Commercial or Residential | 200-250 lbs. |
| - Kentucky 31 or Turf-Type Tall Fescue | 90-100% |
| - Improved Perennial Ryegrass * | 0-10% |
| - Kentucky Bluegrass | 0-10% |
| High Maintenance Lawn | |
| Minimum of three (3) up to five (5) varieties of bluegrass from approved list for use in Virginia. | 125 lbs. |
| General Slope (3:1 or less) | |
| - Kentucky 31 Fescue | 128 lbs. |
| - Red Top Grass | 2 lbs. |
| - Seasonal Nurse Crop ** | 20 lbs. |
| | 150 lbs. |
| Low Maintenance Slope (Steeper than 3:1) | |
| - Kentucky 31 Fescue | 108 lbs. |
| - Red Top Grass | 2 lbs. |
| - Seasonal Nurse Crop ** | 20 lbs. |
| - Crownvetch *** SEE NOTES BELOW | 20 lbs. |
| | 150 lbs. |
| * Perennial Ryegrass will germinate faster and at lower soil temperatures than fescue, thereby providing cover and erosion resistance for seedbed. | |
| ** Use seasonal nurse crop in accordance with seeding dates stated below: | |
| March, April through May 15th.....Annual Rye | |
| May 16th through August 15th.....Foxtail Millet | |
| August 16th through September, October.....Annual Rye | |
| November through February.....Winter Rye | |
| SEE NOTES BELOW | |
| *** If Flatpea is used, increase to 30 lbs./acre. All legume seed must be properly inoculated. Weeping Lovegrass may also be included in any slope or low-maintenacne mixture during warmer seeding periods; add 10-20 lbs./acre in mixes. | |

SEEDING MIX AMMENDMENT:

- 1.) CROWNVETCH, FLATPEA, LESPEDEZA, AND OTHER INVASIVE SPECIES ARE NOT PERMITTED IN CITY OF SALEM.
- 2.) CRIMSON/WHITE CLOVER, PARTRIDGE PEA, OATS, BARLEY, MILLET, RYE OR OTHER NON-INVASIVE COVER CROP MAY BE ADDED TO SEED MIXTURE.
- 3.) PRAIRIE DROPSEED SHALL BE ADDED TO SEED MIXTURE FOR ANY "NO MOW" OR "LOW MAINTENANCE" LANDSCAPE AREAS.

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SITE LANDSCAPING/PLANTING PLAN

SCALE: 1" = 20'

LANDSCAPE REQUIREMENTS:

- 1.) URBAN FOREST OVERLAY DISTRICT - SEC. 106-230.1
DOES NOT APPLY TO PARCELS ZONED RMF
- 2.) BUFFER YARDS - SEC. 106-402.3
RMF TO RMF = AS REQUIRED BY ZONING ADMINISTRATOR
- 3.) PLANT STANDARDS - SEC. 106-402.5
1. EVERGREEN SHRUBS SHALL BE MINIMUM OF 24 INCHES AT PLANTING WITH ULTIMATE HEIGHT OF AT LEAST 6 FEET. ONE SHRUB EVERY 3 LF OF BUFFER YARD
2. SMALL EVERGREEN TREES SHALL BE MINIMUM OF 4 FEET AT PLANTING AND ULTIMATE HEIGHT OF AT LEAST 15 FEET. ONE TREE EVERY 5 LF OF BUFFER YARD.
3. LARGE EVERGREEN TREES SHALL BE MINIMUM OF 6 FEET AT PLANTING AND ULTIMATE HEIGHT OF AT LEAST 50 FEET. ONE TREE EVERY 15 LF OF BUFFER YARD.
- 4.) PARKING PERIMETER LANDSCAPING - SEC. 106-402.7
- (A) 8 FT LANDSCAPE STRIP REQUIRED BETWEEN PARKING AND PUBLIC STREET TO WEST.
- (B) WITHIN FRONT STRIP 1 TREE FOR EVERY 320 SF
ALONG WESTERN PROPERTY LINE = 89 LF X 8 FT = 712 SF / 320 SF = 2 TREES
- (C) 8 FT LANDSCAPE STRIP REQUIRED BETWEEN PARKING AND ADJACENT PROPERTIES TO SOUTH AND EAST.
WITHIN THIS STRIP 1 TREE FOR EVERY 160 SF
ALONG SOUTHERN PROPERTY LINE = 217 LF X 8 FT = 1,736 SF/ 160 SF = 11 TREES
ALONG EASTERN PROPERTY LINE = 148 LF X 8 FT = 1,184 SF / 160 SF = 8 TREES
- 4.) FRONT SETBACK AREA - SEC. 106-402.9
AREA OF FRONT BUILDING SETBACK SHALL BE LANDSCAPED WITH TREES, SHRUBS, AND GROUND COVER. (THIS REQUIREMENT IS MET BY THE OTHER REQUIRED PLANTINGS DESCRIBED ABOVE.)
- 5.) PARKING INTERIOR - SEC. 106-402.13
MINIMUM OF 1 DECIDUOUS TREE REQUIRED FOR EVERY 10 PARKING SPACES.
12 PARKING SPACES = 2 PARKING INTERIOR TREE REQUIRED
NOTE: PARKING INTERIOR TREE SHALL BE A MINIMUM OF 3" CALIPER AND AT LEAST 6 FT TALL AT TIME OF PLANTING. REMOVE LOWER LIMBS UP TO 6 FT HEIGHT TO IMPROVE VISIBILITY.

| NO. | TITLE | KEY | SYMBOL |
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| 3.32 | PERMANENT SEEDING | PS | |
| 3.35 | MULCHING (STRAW) | MU | |

TREE PLANTING NOTES:

1. ALL NEW TREES SHALL BE STAKED AND STAKES SHALL REMAIN FOR ONE YEAR FROM TIME OF PLANTING. ALL STAKES TO BE REMOVED BY END OF SECOND GROWING SEASON.
2. ALL NEW TREES SHALL BE SURROUNDED WITH A 4-5 FT DIAMETER MULCH BED. MULCH SHALL BE 3-4 INCHES DEEP AND SHALL BE REFRESHED AS NEEDED TO AID IN MOISTURE RETENTION AND WEED SUPPRESSION.
3. MULCH SHALL BE FROM LOCAL/REGIONAL SOURCES. HARDWOOD AND PINWOOD MULCHES ARE RECOMMENDED. CYPRESS AND RUBBER MULCH ARE NOT PERMITTED BY CITY OF SALEM.

PLANT SELECTION NOTE:

PROPOSED PLANT SPECIES LISTED WERE SELECTED BASED ON SUITABILITY FOR THE SITE. OWNER/ CONTRACTOR MAY REQUEST TO SUBSTITUTE OTHER SPECIES FROM THE CITY APPROVED LIST. ANY SUBSTITUTIONS SHOULD BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO INSTALLATION.

IRRIGATION NOTE:

AN AUTOMATIC IRRIGATION SYSTEM IS NOT REQUIRED FOR THIS DEVELOPMENT.

| PLANTINGS LEGEND | | | | | |
|------------------|----------------------|-----|--|--------------------------------|---------------------------|
| SYMBOL | CATEGORY | QTY | PREFERRED SPECIES | MIN. SIZE AT PLANTING | NOTES |
| | EVERGREEN SHRUB | 43 | INKBERRY "SHAMROCK" (ILEX GLABRA) | 24 IN TALL | SHADE & WET SOIL TOLERANT |
| | SMALL FLOWERING TREE | 13 | MAGNOLIA "LITTLE GEM" (MAGNOLIA GRANDIFLORA) | 2 INCH CALIPER DBH | FULL SUN TO SOME SHADE |
| | SMALL EVERGREEN TREE | 28 | YEW "HICKSII" (TAXUS MEDIA) | 4 FT TALL | COLUMNAR |
| | SMALL FLOWERING TREE | 12 | SERVICEBERRY "AUTUMN BRILLIANCE" (AMELANCHIER GRANDIFLORA) | 2 INCH CALIPER DBH & 6 FT TALL | 15' TO 20' MATURE HEIGHT |
| | LARGE EVERGREEN TREE | 7 | SERBIAN SPRUCE (PICEA OMORIKA) | 6 FT TALL | 40' TO 50' MATURE HEIGHT |
| | LARGE DECIDUOUS TREE | 2 | RIVER BIRCH (BETULA NIGRA) | 6 FT TALL | 40' TO 50' MATURE HEIGHT |

| DATE | 1 | 2 | 3 | | | | | | |
|------------|---------------------------|------------|---------------------------|------------|---------------------------|--|--|--|--|
| 03/16/2021 | 1ST SUBMITTAL CITY REVIEW | 04/23/2021 | 2ND SUBMITTAL CITY REVIEW | 05/14/2021 | 3RD SUBMITTAL CITY REVIEW | | | | |
| REVISIONS | # | 1 | 2 | 3 | | | | | |

SITE DEVELOPMENT PLANS
FOR
CALHOUN TOWNHOMES

TAX PARCEL ID: 122-9-1
106 CHESTNUT STREET
CITY OF SALEM, VIRGINIA

BRUSHY MOUNTAIN
ENGINEERING, PLLC

3553 Carvins Cove Road
Salem, VA 24153

(540) 526-6800
www.brushymtnengr.com



| | |
|--------------|-----------|
| BME JOB # | 20-024 |
| SHEET NAME | LANDSCAPE |
| SHEET NUMBER | 6 OF 8 |

| MINIMUM STANDARDS (PER DCR VIRGINIA EROSION AND SEDIMENT CONTROL LAW AND REGULATIONS AND EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT CERTIFICATION REGULATIONS, FY 2013) | | | DATE | |
|--|--|--|--|--|
| MS-1 | PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 14 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE YEAR. | TEMPORARY SEEDING SHALL BE INSTALLED AS REQUIRED UNTIL BUILDING IS NEARLY COMPLETE AND TOPSOIL CAN BE BROUGHT TO SITE AND PLACED WITHOUT BEING OVER-COMPACTED BY CONSTRUCTION TRAFFIC. PERMANENT SEEDING WITH 7 DAYS OF TOPSOIL. | 03/16/2021 | |
| | DURING CONSTRUCTION OF THE PROJECT, SOIL STOCK PILES AND BORROW AREAS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED FROM THE SITE. | STOCKPILE OF TOPSOIL SHALL BE SEEDED IF IT IS TO REMAIN FOR MORE THAN 14 DAYS. | 04/23/2021 | |
| | A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED. PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED THAT IS UNIFORM, MATURE ENOUGH TO SURVIVE AND WILL INHIBIT EROSION. | PERMANENT VEGETATION SHALL BE ESTABLISHED UPON COMPLETION OF ACHIEVING FINAL GRADES. | 05/14/2021 | |
| 3 | | | | |
| MS-2 | | | | |
| 4 | SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE. | SEDIMENT FENCE AND GRAVEL CURB INLET SEDIMENT FILTER SHALL BE INSTALLED BEFORE ANY SITE GRADING COMMENCES. | | |
| 5 | STABILIZATION MEASURES SHALL BE APPLIED TO EARTHEN STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION. | NO SUCH EARTHEN STRUCTURES ARE PLANNED. | | |
| MS-6 | SEDIMENT TRAPS AND SEDIMENT BASINS SHALL BE DESIGNED AND CONSTRUCTED BASED UPON THE TOTAL DRAINAGE AREA TO BE SERVED BY THE TRAP OR BASIN. A) THE MINIMUM STORAGE CAPACITY OF A SEDIMENT TRAP SHALL BE 134 CUBIC YARDS PER ACRE OF DRAINAGE AREA AND THE TRAP SHALL ONLY CONTROL DRAINAGE AREAS LESS THAN ONE ACRE. B) SURFACE RUNOFF FROM DISTURBED AREAS THAT IS COMPRISED OF FLOW FROM DRAINAGE AREAS GREATER THAN OR EQUAL TO THREE ACRES SHALL BE CONTROLLED BY A SEDIMENT BASIN. THE MINIMUM STORAGE CAPACITY OF A SEDIMENT BASIN SHALL BE 134 CUBIC YARDS PER ACRE OF DRAINAGE AREA. THE OUTFALL SYSTEM SHALL, AT A MINIMUM, MAINTAIN THE STRUCTURAL INTEGRITY OF THE BASIN DURING A 25-YEAR STORM OF 24-HOUR DURATION. RUNOFF COEFFICIENTS USED IN RUNOFF CALCULATIONS SHALL CORRESPOND TO A BARE EARTH CONDITION OR THOSE CONDITIONS EXPECTED TO EXIST WHILE THE SEDIMENT BASIN IS UTILIZED. | THE DETENTION BASIN SHALL SERVE AS THE SEDIMENT BASIN DURING CONSTRUCTION ACTIVITIES. SEE SHEET 8 FOR DESIGN CALCULATIONS OF THIS SEDIMENT BASIN. SILT FENCE DROP INLET PROTECTION SHALL PREVENT SEDIMENT FROM ENTERING THE STORM SEWER PIPES. CONTRACTOR SHALL INSPECT AND MAINTAIN THESE MEASURES PROPERLY. | | |
| | CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. SLOPES THAT ARE FOUND TO BE ERODING EXCESSIVELY WITHIN ONE YEAR OF PERMANENT STABILIZATION SHALL BE PROVIDED WITH ADDITIONAL SLOPE STABILIZING MEASURES UNTIL THE PROBLEM IS CORRECTED. | PROPOSED SLOPES ARE RELATIVELY FLAT AND SHOULD NOT EXPERIENCE HEAVY EROSION. OWNER WILL MAKE ANY NECESSARY REPAIRS AFTER ONE YEAR | | |
| | CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME OR SLOPE DRAIN STRUCTURE. | SITE GRADES ARE RELATIVELY FLAT. NO SUCH DRAINAGEWAYS RUNNING DOWN CUT OR FILL SLOPES ARE PLANNED. | | |
| 8 | WHENEVER WATER SEEPS FROM A SLOPE FACE, ADEQUATE DRAINAGE OR OTHER PROTECTION SHALL BE PROVIDED. | NO SUCH WATER SEEPS ARE EVIDENT. | | |
| 9 | ALL STORM SEWER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT. | AN OUTLET CONTROL STRUCTURE AND THREE DI-1 DROP INLETS WILL BE INSTALLED TO DRAIN THE DETENTION BASIN. SILT FENCE DROP INLET PROTECTIONS SHALL BE INSTALLED. | | |
| 10 | BEFORE NEWLY CONSTRUCTED STORMWATER CONVEYANCE CHANNELS OR PIPES ARE MADE OPERATIONAL, ADEQUATE OUTLET PROTECTION AND ANY REQUIRED TEMPORARY OR PERMANENT CHANNEL LINING SHALL BE INSTALLED IN BOTH THE CONVEYANCE CHANNEL AND RECEIVING CHANNEL. | SILT FENCE DROP INLET PROTECTIONS SHALL BE INSTALLED. ONSITE STORM SEWER PIPES SHALL BE CLEANED ONCE FINAL VEGETATION IS ESTABLISHED ON SITE. | | |
| 11 | WHEN WORK IN A LIVE WATERCOURSE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENTS, CONTROL SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION. NONERODIBLE MATERIAL SHALL BE USED FOR THE CONSTRUCTION OF CAUSEWAYS AND COFFERDAMS. EARTHEN FILL MAY BE USED FOR THESE STRUCTURES IF ARMORED BY NONERODIBLE COVER MATERIALS. | NO PROPOSED WORK IN LIVE WATERCOURSE. | | |
| 12 | WHEN A LIVE WATERCOURSE MUST BE CROSSED BY CONSTRUCTION VEHICLES MORE THAN TWICE IN ANY SIX-MONTH PERIOD, A TEMPORARY VEHICULAR STREAM CROSSING CONSTRUCTED OF NONERODIBLE MATERIAL SHALL BE PROVIDED. | NO PROPOSED CROSSINGS OF LIVE WATERCOURSE. | | |
| 13 | ALL APPLICABLE FEDERAL, STATE AND LOCAL CHAPTERS PERTAINING TO WORKING IN OR CROSSING LIVE WATERCOURSES SHALL BE MET. | NO PROPOSED WORK IN LIVE WATERCOURSE. | | |
| 15/14 | THE BED AND BANKS OF A WATERCOURSE SHALL BE STABILIZED IMMEDIATELY AFTER WORK IN THE WATERCOURSE IS COMPLETED. | NO PROPOSED WORK IN LIVE WATERCOURSE. | | |
| MS-16 | UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA: A) NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPEN AT ANY ONE TIME. B) EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES. C) EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSLEY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY. D) MATERIAL USED FOR BACKFILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION. E) RESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THIS CHAPTER F) APPLICABLE SAFETY CHAPTERS SHALL BE COMPLIED WITH. | NO PROPOSED UNDERGROUND UTILITY MAINS OR TRENCHING ACTIVITIES PLANNED OTHER THAN THE INSTALLATION OF SERVICE LATERALS AS SHOWN ON PLANS. | | |
| | WHERE CONSTRUCTION VEHICLES ACCESS ROUTES INTERSECT PAVED OR PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PAVED OR PUBLIC ROAD SURFACE, THE ROAD SURFACE SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL DEVELOPMENT LOTS AS WELL AS TO LARGER LAND-DISTURBING ACTIVITIES. | A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE FROM W. CALHOUN STREET INTO THE DISTURBED AREA WILL BE CONSTRUCTED AND MAINTAINED TO PREVENT TRACKING OF MUD ONTO ROADS. | | |
| | ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED BY THE VESCP AUTHORITY. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION. | EROSION CONTROL MEASURES WILL BE REMOVED ONCE PERMANENT VEGETATION IS ESTABLISHED. SEDIMENT CAPTURED IN THE SEDIMENT FENCE SHALL BE DISPOSED OF PROPERLY. | | |
| MS-17 | PROPERTIES AND WATERWAYS DOWNSTREAM FROM DEVELOPMENT SITES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION, EROSION AND DAMAGE DUE TO INCREASES IN VOLUME, VELOCITY AND PEAK FLOW RATE OF STORMWATER RUNOFF FOR THE STATED FREQUENCY STORM OF 24-HOUR DURATION IN ACCORDANCE WITH THE FOLLOWING STANDARDS AND CRITERIA. STREAM RESTORATION AND RELOCATION PROJECTS THAT INCORPORATE NATURAL CHANNEL DESIGN CONCEPTS ARE NOT MAN-MADE CHANNELS AND SHALL BE EXEMPT FROM ANY FLOW RATE CAPACITY AND VELOCITY REQUIREMENTS FOR NATURAL OR MAN-MADE CHANNELS: A) CONCENTRATED STORMWATER RUNOFF LEAVING A DEVELOPMENT SITE SHALL BE DISCHARGED DIRECTLY INTO AN ADEQUATE NATURAL OR MAN-MADE RECEIVING CHANNEL, PIPE OR STORM SEWER SYSTEM. FOR THOSE SITES WHERE RUNOFF IS DISCHARGED IN A PIPE OR PIPE SYSTEM, DOWNSTREAM STABILITY ANALYSES AT THE OUTFALL OF THE PIPE OR PIPE SYSTEM SHALL BE PERFORMED. B) ADEQUACY OF ALL CHANNELS AND PIPES SHALL BE VERIFIED IN THE FOLLOWING MANNER: 1) THE APPLICANT SHALL DEMONSTRATE THAT THE TOTAL DRAINAGE AREA TO THE POINT OF ANALYSIS WITHIN THE CHANNEL IS ONE HUNDRED TIMES GREATER THAN CONTRIBUTING DRAINAGE AREA OF THE PROJECT IN QUESTION; OR 2) A) NATURAL CHANNELS SHALL BE ANALYZED BY THE USE OF A TWO-YEAR STORM TO VERIFY THAT STORMWATER WILL NOT OVERTOP CHANNEL BANKS NOR CAUSE EROSION OF CHANNEL BED OR BANKS. B) ALL PREVIOUSLY CONSTRUCTED MAN-MADE CHANNELS SHALL BE ANALYZED BY THE USE OF A TEN-YEAR STORM TO VERIFY THAT STORMWATER WILL NOT OVERTOP ITS BANKS AND BY THE USE OF A TWO-YEAR STORM TO DEMONSTRATE THAT STORMWATER WILL NOT CAUSE EROSION OF CHANNEL BED OR BANKS; AND C) PIPES AND STORM SEWER SYSTEMS SHALL BE ANALYZED BY THE USE OF A TEN-YEAR STORM TO VERIFY THAT STORMWATER WILL BE CONTAINED WITHIN THE PIPE OR SYSTEM. C) IF EXISTING NATURAL RECEIVING CHANNELS OR PREVIOUSLY CONSTRUCTED MAN-MADE CHANNELS OR PIPES ARE NOT ADEQUATE, THE APPLICANT SHALL: 1) IMPROVE THE CHANNELS TO A CONDITION WHERE A TEN-YEAR STORM WILL NOT OVERTOP THE BANKS AND A TWO-YEAR STORM WILL NOT CAUSE EROSION TO CHANNEL THE BED OR BANKS; OR 2) IMPROVE THE PIPE OR PIPE SYSTEM TO A CONDITION WHERE THE TEN-YEAR STORM IS CONTAINED WITHIN THE APPURTENANCES; 3) DEVELOP A SITE DESIGN THAT WILL NOT CAUSE THE PRE-DEVELOPED PEAK RUNOFF RATE FROM A TWO-YEAR STORM TO INCREASE WHEN RUNOFF OUTFALLS INTO A NATURAL CHANNEL OR WILL NOT CAUSE THE PRE-DEVELOPMENT PEAK RUNOFF RATE FROM A TEN-YEAR STORM TO INCREASE WHEN RUNOFF OUTFALLS INTO A MAN-MADE CHANNEL; OR 4) PROVIDE A COMBINATION OF CHANNEL IMPROVEMENT, STORMWATER DETENTION, OR OTHER MEASURES WHICH IS SATISFACTORY TO THE VESCP AUTHORITY TO PREVENT DOWNSTREAM EROSION. D) THE APPLICANT SHALL PROVIDE EVIDENCE OF PERMISSION TO MAKE THE IMPROVEMENTS. E) ALL HYDROLOGIC ANALYSES SHALL BE BASED ON THE EXISTING WATERSHED CHARACTERISTICS AND THE ULTIMATE DEVELOPMENT CONDITION OF THE SUBJECT PROJECT. F) IF THE APPLICANT CHOOSES AN OPTION THAT INCLUDES STORMWATER DETENTION, HE SHALL OBTAIN APPROVAL FROM THE VESCP OF A PLAN FOR MAINTENANCE OF THE DETENTION FACILITIES. THE PLAN SHALL SET FORTH THE MAINTENANCE REQUIREMENTS OF THE FACILITY AND THE PERSON RESPONSIBLE FOR PERFORMING THE MAINTENANCE. G) OUTFALL FROM A DETENTION FACILITY SHALL BE DISCHARGED TO A RECEIVING CHANNEL, AND ENERGY DISSIPATORS SHALL BE PLACED AT THE OUTFALL OF ALL DETENTION FACILITIES AS NECESSARY TO PROVIDE A STABILIZED TRANSITION FROM THE FACILITY TO THE RECEIVING CHANNEL. H) ALL ON-SITE CHANNELS MUST BE VERIFIED TO BE ADEQUATE. I) INCREASED VOLUMES OF SHEET FLOWS THAT MAY CAUSE EROSION OR SEDIMENTATION ON ADJACENT PROPERTY SHALL BE DIVERTED TO A STABLE OUTLET, ADEQUATE CHANNEL, PIPE OR PIPE SYSTEM, OR TO A DETENTION FACILITY. J) IN APPLYING THESE STORMWATER MANAGEMENT CRITERIA, INDIVIDUAL LOTS OR PARCELS IN A RESIDENTIAL, COMMERCIAL OR INDUSTRIAL DEVELOPMET SHALL NOT BE CONSIDERED TO BE SEPARATE DEVELOPMENT PROJECTS. INSTEAD, THE DEVELOPMENT AS A WHOLE SHALL BE CONSIDERED TO BE A SINGLE DEVELOPMENT PROJECT. HYDROLOGIC PARAMETERS THAT REFLECT THE ULTIMATE DEVELOPMENT CONDITION SHALL BE USED IN ALL ENGINEERING CALCULATIONS. K) ALL MEASURES USED TO PROTECT PROPERTIES AND WATERWAYS SHALL BE EMPLOYED IN A MANNER WHICH MINIMIZES IMPACTS ON THE PHYSICAL, CHEMICAL AND BIOLOGICAL INTEGRITY OF RIVERS, STREAMS AND OTHER WATERS OF THE STATE. L) ANY PLAN APPROVED PRIOR TO JULY 1, 2014, THAT PROVIDES FOR STORMWATER MANAGEMENT THAT ADDRESSES ANY FLOW RATE CAPACITY AND VELOCITY REQUIREMENTS FOR NATURAL OR MAN-MADE CHANNELS SHALL SATISFY THE FLOW RATE CAPACITY AND VELOCITY REQUIREMENTS FOR NATURAL OR MAN-MADE CHANNELS IF THE PRACTICES ARE DESIGNED TO (I) DETAIN THE WATER QUALITY VOLUME AND RELEASE IT OVER 48 HOURS; (II) DETAIN AND RELEASE OVER A 24-HOUR PERIOD THE EXPECTED RAINFALL RESULTING FROM THE ONE-YEAR, 24-HOUR STORM; AND (III) REDUCE THE ALLOWABLE PEAK FLOW RATE RESULTING FROM THE 1.5, 2, AND 10-YEAR, 24-HOUR STORMS TO A LEVEL THAT IS LESS THAN OR EQUAL TO THE PEAK FLOW RATE FROM THE SITE ASSUMING IT WAS IN GOOD FORESTED CONDITION, ACHIEVED THROUGH MULTIPLICATION OF THE FORESTED PEAK FLOW RATE BY A REDUCTION FACTOR THAT IS EQUAL TO THE RUNOFF VOLUME FROM THE SITE IN ITS PROPOSED CONDITION, AND SHALL BE EXEMPT FROM ANY FLOW RATE CAPACITY AND VELOCITY REQUIREMENTS FOR NATURAL AND MAN-MADE CHANNELS AS DEFINED IN ANY REGULATIONS PROMULGATED PURSUANT TO SS10.1-562 OR SS10.1-570 OF THE ACT. M) FOR PLANS APPROVED ON AND AFTER JULY 1, 2014, THE FLOW RATE CAPACITY AND VELOCITY REQUIREMENTS OF SS10.1-561 A OF THE ACT AND THIS SUBSECTION SHALL BE SATISFIED BY COMPLIANCE WITH WATER QUANTITY REQUIREMENTS IN THE STORMWATER MANAGEMENT ACT (SS10.1-603.2 ET SEQ. OF THE CODE OF VIRGINIA) AND ATTENDANT REGULATIONS, UNLESS SUCH LAND-DISTURBING ACTIVITIES ARE IN ACCORDANCE WITH 4VAC50-60-48 OF THE VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSMP) PERMIT REGULATIONS. N) COMPLIANCE WITH WATER QUANTITY MINIMUM STANDARDS SET OUT IN 4VAC50-60-66 OF THE VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSMP) PERMIT REGULATIONS SHALL BE DEEMED TO SATISFY THE REQUIREMENTS OF MINIMUM STANDARD 19. | A. RUNOFF FROM THE MAJORITY OF THE DISTURBED AREA WILL BE CAPTURED AND ROUTED THROUGH THE SEDIMENT TRAP/DETENTION BASIN BEFORE BEING RELEASED FROM THE PROPERTY. B. SEE SHEET 5 FOR ANALYSIS CALCULATION OF STORM SEWER ADEQUACY. C. THE POST-DEVELOPED PEAK FLOWS WILL BE LESS THAN THE EXISTING CONDITIONS. THEREFORE, NO DOWNSTREAM CHANNEL IMPROVEMENTS ARE NEEDED. D. NO PERMISSION NEEDED SINCE NO IMPROVEMENTS ARE WARRANTED. E. THE PLANNED TOWNHOME DEVELOPMENT IS THE FINAL BUILDOUT FOR THE PROPERTY. F.). THE MAINTENANCE AGREEMENT AND ACCESS EASEMENT FOR THE DETENTION BASIN ARE BEING SUBMITTED ALONG WITH THIS PLAN SET FOR CITY APPROVAL. G. THE DETENTION BASIN WILL DISCHARGE INTO THE CITY'S STORM SEWER SYSTEM. H. NO OPEN CHANNELS PLANNED. SEE SHEET 5 FOR ANALYSIS OF STORM SEWER ADEQUACY. J. THE STORMWATER ANALYSIS OF THIS PROJECT VIEWS THE ENTIRE DISTURBED AREA TO PROVE THAT THE COMBINED PEAK RUNOFF RATE FROM THE SITE WILL BE REDUCED. K. ONCE PERMANENT VEGETATION IS ESTABLISHED THIS DEVELOPMENT WILL CAUSE NO NEGATIVE IMPACTS TO THE PHYSICAL, CHEMICAL, AND BIOLOGICAL CHARACTERISTICS OF THE STORMWATER RUNOFF ENTERING THE ROANOKE RIVER. L. NOT APPLICABLE. PLANS PREPARED AFTER JULY 1, 2014. M. THE PROPOSED DETENTION BASIN AND OUTLET CONTROL STRUCTURE SHALL RESTRICT THE PEAK RUNOFF RATES FOR THE VARIOUS STORM EVENTS. N. THE TOTAL COMBINED PEAK RUNOFF RATES FROM THE SITE WILL BE REDUCED IN THE POST-DEVELOPED CONDITION. | * NOTE: IF ANY IMPORT OR EXPORT OF FILL MATERIALS (INCLUDING TOPSOIL) IS NEEDED, THE MATERIAL MUST ORIGINATE FROM ANOTHER SITE PROPERLY PERMITTED BY THE CITY OF SALEM OR VDEQ. THE LOCATION OF ANY SUCH OFF-SITE FILL OR BORROW MATERIAL MUST BE PROVIDED TO THE CITY OF SALEM AND BRUSHY MOUNTAIN ENGINEERING. | |
| | | | | |
| | | | | |
| PROJECT NARRATIVE: | | | | |
| PROJECT DESCRIPTION: THIS PROPERTY WAS FORMALLY A SINGLE FAMILY RESIDENTIAL LOT. THE PROPOSED DEVELOPMENT INCLUDES A NEW 6 UNIT TOWNHOUSE BUILDING WITH ASSOCIATED PAVED PARKING AND ACCESS DRIVE AROUND THE REAR OF THE BUILDING. THE DEVELOPMENT INCLUDES NEW LANDSCAPING AND A STORMWATER DETENTION BASIN ALONG THE SOUTHERN PROPERTY LINE. THIS DEVELOPMENT IS CONSISTENT WITH THE CITY'S LONG-TERM PLAN OF CREATING ADDITIONAL HOUSING OPTIONS WITHIN THE DOWNTOWN DISTRICT. | | | | |
| EXISTING SITE CONDITIONS: THE SITE IS CURRENTLY VACANT. THE HOUSE, GARAGE, AND OTHER IMPROVEMENTS HAVE RECENTLY BEEN REMOVED. THE SITE GENERALLY DRAINS FROM NORTHEAST TO SOUTHWEST. THERE IS NO SIDEWALK OR CURB ALONG THE SOUTH SIDE OF W. CALHOUN STREET. | | | | |
| ADJACENT AREAS: THE DISTURBANCE LIMITS INCLUDE CONSTRUCTION OF SIDEWALK AND CURB IN THE W. CALHOUN STREET RIGHT-OF-WAY. AN EXISTING WOOD FENCE ALONG THE EAST PROPERTY LINE WILL REMAIN. THE EXISTING DRIVEWAY FOR THE PROPERTY TO THE SOUTH WILL REMAIN UNCHANGED AS WELL. THE ACCESS DRIVEWAY AND STORM SEWER CONNECTIONS WILL BE MADE IN THE CHESTNUT STREET RIGHT-OF-WAY. ANY SPOILS MATERIALS GENERATED ON SITE SHALL BE REMOVED FROM THE SUBJECT PROPERTY AND BE DISPOSED OF BY THE CONTRACTOR AT AN APPROVED DISPOSAL LOCATION. | | | | |
| OFF-SITE AREAS: THERE ARE NO PLANS FOR DISTURBANCES AT OFFSITE LOCATIONS SUCH AS BORROW PITS OR IMPROVEMENTS TO DOWNSTREAM STORM SEWER OR DETENTION STRUCTURES. HOWEVER, IF SUCH A NEED ARISES THE CONTRACTOR SHALL NOTIFY THE CITY OF SALEM AND BRUSHY MOUNTAIN ENGINEERING IMMEDIATELY AND SUBMIT A SUPPLEMENTAL EROSION AND SEDIMENT CONTROL PLAN FOR ANY SUCH AREA. | | | | |
| SOILS: BASED ON THE USDA SOILS DATA AVAILABLE ONLINE THE DISTURBANCE AREA IS DIVIDED INTO TWO SOIL TYPES. IN THE WEST THE SOILS ARE CLASSIFIED AS 'URBAN LAND' WHICH IS A TYPE 'C' SOIL. AND IN THE EAST THE SOILS ARE CLASSIFIED AS 'WHEELING-URBAN LAND COMPLEX, 0-2% SLOPES' WHICH IS A TYPE 'B' SOIL. | | | | |
| CRITICAL AREAS: THE CONTRACTOR SHALL PROPERLY PROTECT THE SURROUNDING AREAS AND RECEIVING STORM SEWER FROM ANY SEDIMENT FROM THE SITE. THE CONTRACTOR SHALL PROPERLY INSTALL THE EROSION AND SEDIMENT CONTROL MEASURES DESCRIBED ON THESE PLANS AND CONTINUE TO MONITOR AND MAINTAIN THEM UNTIL THE PROJECT IS COMPLETE AND ADEQUATE VEGETATIVE SOIL STABILIZATION IS ESTABLISHED. | | | | |
| EROSION AND SEDIMENT CONTROL MEASURES: UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE VESC HANDBOOK. THE MINIMUM STANDARDS OF THE VESC HANDBOOK SHALL BE ADHERED TO UNLESS OTHERWISE WAIVED OR APPROVED BY A VARIANCE. NO SUCH WAIVER OR VARIANCE IS BEING SOUGHT AT THIS TIME. | | | | |
| STRUCTURAL PRACTICES: | | | | |
| 1. TEMPORARY CONSTRUCTION ENTRANCE - 3.02 - THERE ARE EXISTING PAVED ROADWAYS WHICH PROVIDE ADEQUATE ACCESS TO THE SITE DISTURBANCE LIMITS. A 12' X 70' TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE CREATED INTO THE SITE FROM W. CALHOUN STREET. ALL CONSTRUCTION TRAFFIC INTO AND OUT OF THE DISTURBANCE AREA SHALL USE THIS ENTRANCE. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND ENHANCING THIS ENTRANCE AS NECESSARY TO PREVENT TRACKING OF MUD ONTO SURROUNDING PAVED AREAS. | | | | |
| 2. SILT FENCE BARRIER - 3.05 - SILT FENCE SEDIMENT BARRIER WILL BE INSTALLED AROUND THE PERIMETER OF THE DISTURBED AREA AS SHOWN ON THE ATTACHED PLANS. THIS SILT FENCE BARRIER WILL SERVE AS THE PRIMARY MEANS TO PREVENT SEDIMENT FROM LEAVING THE SITE. | | | | |
| 3. SILT FENCE DROP INLET PROTECTION - 3.07.1 - DURING CONSTRUCTION THE DETENTION BASIN SHALL SERVE AS THE SEDIMENT BASIN. TO PREVENT SEDIMENT FROM ENTERING THE STORM SEWER PIPES, SILT FENCE SHALL BE INSTALLED AROUND THE THREE DROP INLETS IN THE SEDIMENT BASIN. | | | | |
| 4. BLOCK & GRAVEL CURB INLET SEDIMENT FILTER - 3.07.8 - THE NORTHERN PORTION OF THE SITE DRAINS TO A CURB INLET IN THE SOUTHEAST CORNER OF W. CALHOUN AND CHESTNUT. THE REMAINDER OF THE SITE SHEET FLOWS INTO THE GUTTER OF CHESTNUT STREET WHERE IT ENTERS A CURB INLET IN THE SOUTHWEST CORNER OF THE DISTURBED AREA. THE CONTRACTOR SHALL INSTALL BLOCK AND GRAVEL CURB INLET SEDIMENT FILTERS AT THESE TWO CURB INLET LOCATIONS TO PREVENT SEDIMENT FROM ENTERING THE EXISTING STORM SEWER SYSTEM. | | | | |
| VEGETATIVE PRACTICES: | | | | |
| 1. TOPSOILING (STOCKPILE) - 3.30 - CONTACTOR SHALL STRIP ANY TOPSOIL FROM THE SITE AND STOCKPILE ONSITE. THIS STOCKPILE SHALL BE TEMPORARILY SEEDED IF IT IS TO REMAIN FOR MORE THAN 14 DAYS. AFTER BUILDING AND PAVED AREA CONSTRUCTION IS COMPLETE CONTRACTOR SHALL REDISTRIBUTE THE TOPSOIL AND FERTILIZE AS NEEDED TO ESTABLISH VEGETATION. THIS TOPSOIL SHALL NOT BE PLACED UNTIL THE BUILDING IS NEARLY COMPLETE TO PREVENT TOPSOIL COMPACTION BY CONSTRUCTION TRAFFIC. | | | | |
| 2. TEMPORARY SEEDING - 3.31 - AREAS THAT SHALL REMAIN UNCHANGED FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY SEEDED. | | | | |
| 3. PERMANENT SEEDING - 3.32 - AS SOON AS THE CONSTRUCTION TRAFFIC OUTSIDE OF BUILDING PAD IS DONE, TOPSOIL SHALL BE PLACED AND THE AREAS SHALL BE PERMANENTLY SEEDED. | | | | |
| 4. MULCH - 3.35 - ALL AREAS OF THIS SITE HAVE SLOPES FLATTER THAN 3H:1V. THEREFORE, USE MULCH (STRAW OR FIBER) AS A SECOND STEP IN THE SEEDING OPERATION. | | | | |
| MANAGEMENT STRATEGIES: | | | | |
| 1. CONSTRUCTION ACTIVITIES WILL BE SEQUENCED SO THAT GRADING OPERATIONS CAN BEGIN AND END AS QUICKLY AS POSSIBLE. | | | | |
| 2. SEDIMENT TRAPPING MEASURES (I.E. SILT FENCE BARRIER) WILL BE INSTALLED AS A FIRST STEP IN GRADING AND MUST BE FULLY FUNCTIONAL BEFORE ANY GRADING ACTIVITY COMMENCES. | | | | |
| 3. PERMANENT SEEDING OR OTHER STABILIZATION WILL FOLLOW IMMEDIATELY AFTER TOPSOIL IS PLACED. | | | | |
| 4. THERE ARE NO TREES OR PLANTS TO AVOID. BUT AREAS NOT TO BE DISTURBED WILL BE CLEARLY MARKED BY FLAGS, SIGNS, ETC. | | | | |
| 5. THE CONTRACTOR'S JOB SUPERINTENDENT SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL PRACTICES. | | | | |
| 6. AFTER ACHIEVING ADEQUATE STABILIZATION AND SECURING APPROVAL FROM CITY OF SALEM ENGINEERING DEPARTMENT, THE TEMPORARY E&S CONTROLS WILL BE CLEANED UP AND REMOVED BY THE CONTRACTOR. | | | | |
| PERMANENT STABILIZATION: THE DETENTION BASIN AREA AND ALL LANDSCAPED AREAS NOT COVERED WITH MULCH SHALL BE SEEDED. PERMANENT SEEDING SHALL BE IN ACCORDANCE WITH STANDARD AND SPECIFICATION 3.32 OF THE VESC HANDBOOK. SOIL AMENDMENT (FERTILIZER, LIME, ETC.) SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AND MULCHED AS DISCUSSED ABOVE. | | | | |
| STORMWATER MANAGEMENT: THE PLANNED DEVELOPMENT WILL RESULT IN AN INCREASE IN RUNOFF VOLUME AND PEAK RATE. THEREFORE, A STORMWATER DETENTION BASIN WILL BE CONSTRUCTED TO RESTRICT THE RELEASE FROM THE SITE TO BELOW THE EXISTING CONDITIONS. THE FULL DESIGN CALCULATIONS ARE INCLUDED IN THE ATTACHED SWMP REPORT. WHEN OPERATING PROPERLY THIS DETENTION BASIN WILL RESULT IN A NET DECREASE IN FLOW RATE FROM THE SITE TO THE CITY STORM SEWER SYSTEM. THEREFORE, NO OFFSITE STORM SEWER IMPROVEMENTS ARE REQUIRED. | | | | |
| MAINTENANCE: IN GENERAL, ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED DAILY AND AFTER EACH SIGNIFICANT RAINFALL. THE FOLLOWING ITEMS WILL BE CHECKED IN PARTICULAR: 1. THE SILT FENCE BARRIER WILL BE CHECKED REGULARLY FOR UNDERMINING OR DETERIORATION OF THE FABRIC. SEDIMENT SHALL BE REMOVED WHEN THE LEVEL OF SEDIMENT DEPOSITION REACHES HALF WAY TO THE TOP OF THE BARRIER. 2. THE GRAVEL CURB INLET SEDIMENT FILTER SHALL BE CHECKED REGULARLY FOR SIGNS OF SEDIMENT ENTERING THE INLET. ANY SUCH SEDIMENT SHALL BE REMOVED AND THE FILTER REPAIRED OR REPLACED AS NECESSARY. 3. THE SEEDED AREAS WILL BE CHECKED REGULARLY TO ENSURE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RESEEDED AS NEEDED. | | | | |
| * NOTE: IF ANY IMPORT OR EXPORT OF FILL MATERIALS (INCLUDING TOPSOIL) IS NEEDED, THE MATERIAL MUST ORIGINATE FROM ANOTHER SITE PROPERLY PERMITTED BY THE CITY OF SALEM OR VDEQ. THE LOCATION OF ANY SUCH OFF-SITE FILL OR BORROW MATERIAL MUST BE PROVIDED TO THE CITY OF SALEM AND BRUSHY MOUNTAIN ENGINEERING. | | | | |
| STEEP SLOPE DEVELOPMENT: | | | | |
| REFER TO VIRGINIA'S EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION: | | | | |
| 1) CUT SLOPES OR FILL SLOPES SHALL NOT BE GREATER THAN 2:1 (HORIZONTAL:VERTICAL), UNLESS A GEOTECHNICAL REPORT IS PROVIDED FOR THE PROPOSED SLOPES. NOT APPLICABLE. ALL PROPOSED SLOPES ARE CONSIDERABLY MORE FLAT THAN THE 2:1 THRESHOLD. | | | | |
| 2) CUT SLOPES OR FILL SLOPES SHALL NOT BE GREATER THAN 25 FEET VERTICAL FEET IN HEIGHT, UNLESS A GEOTECHNICAL REPORT IS PROVIDED FOR THE PROPOSED SLOPES. CUT SLOPES OR FILL SLOPES LESS THAN OR EQUAL TO 3:1 (HORIZONTAL:VERTICAL) MAY EXCEED 25 VERTICAL FEET IN HEIGHT AND SHALL NOT REQUIRE A GEOTECHNICAL REPORT. NOT APPLICABLE. NO SUCH SLOPES OR FILLS. | | | | |
| 3) FOR ANY CUT SLOPES OR FILL SLOPES GREATER THAN OR EQUAL TO 2:1 (HORIZONTAL:VERTICAL) AND GREATER THAN OR EQUAL TO 25 VERTICAL FEET IN HEIGHT, AS-BUILT PLANS SHOWING THAT THE FINISHED GEOMETRY IS IN SUBSTANTIAL CONFORMITY WITH THE DESIGN SHALL BE PROVIDED TO THE PLAN-APPROVING AUTHORITY. NOT APPLICABLE. ALL PROPOSED SLOPES ARE CONSIDERABLY MORE FLAT THAN THE 2:1 THRESHOLD. | | | | |
| 4) FILL MATERIALS, COMPACTION METHODS AND DENSITY SPECIFICATIONS SHALL BE INDICATED ON THE SITE DEVELOPMENT PLANS. FILL AREAS INTENDED TO SUPPORT STRUCTURES SHALL ALSO BE INDICATED ON THE SITE DEVELOPMENT PLANS. COMPACTION TEST RESULTS (PER VDOT STANDARDS) SHALL BE SUBMITTED TO THE PLAN-APPROVING AUTHORITY. FOR THE PURPOSES OF THIS PLAN THE CONTRACTOR WILL AS A MINIMAL REQUIREMENT PLACE ANY FILL IN LIFTS OF 6" OR LESS AND ACHIEVE 95% STANDARD PROCTOR DENSITY. | | | | |
| 5) DEVELOPMENT PLANS FOR ALL NEW SUBDIVISIONS SHALL SHOW PROPOSED LOT GRADES TO ENSURE POSITIVE DRAINAGE. PROPOSED GRADES ARE SHOWN ON SHEET 4. | | | | |
| CONSTRUCTION / FIELD CHANGES: | | | | |
| 1) NOTE: NO FIELD CHANGES PERMITTED WITHOUT PRIOR APPROVAL OF THE CITY OF SALEM ENGINEERING DEPARTMENT AND BRUSHY MOUNTAIN ENGINEERING. | | | | |
| 2) ANY EXPANSION OF DISTURBANCE AREAS, CHANGES IN GRADES, ALTERNATIVE EROSION AND SEDIMENT CONTROL MEASURES WILL REQUIRE A NEW SET OF PLANS STAMPED BY THE CONSULTING ENGINEER. PLAN SHEETS CAN BE 8.5 X 11 IF THE INFORMATION IS LEGIBLE. | | | | |
| SITE DEVELOPMENT PLANS FOR CALHOUN TOWNHOMES | | | | |
| BRUSHY MOUNTAIN ENGINEERING, PLLC | | | TAX PARCEL ID: 122-9-1 106 CHESTNUT STREET CITY OF SALEM, VIRGINIA | |
| BME | | | 3553 Carvins Cove Road Salem, VA 24153 (540) 526-6800 www.brushymtnengr.com | |
| COMMONWEALTH OF VIRGINIA Barney T. Horrell Prof. Eng. No. 44654 05-14-21 PROFESSIONAL ENGINEER | | | | |
| BME JOB # | | | | |
| 20-024 | | | | |
| SHEET NAME | | | | |
| NARRATIVE | | | | |
| SHEET NUMBER | | | | |
| 7 OF 8 | | | | |

SEDIMENT BASIN DESCRIPTION

THE SEDIMENT TRAP MUST HAVE 134 CUBIC YARDS OF STORAGE VOLUME PER ACRE OF CONTRIBUTING DRAINAGE AREA. HALF OF THIS STORAGE VOLUME SHALL BE CONSIDERED WET STORAGE AND HALF SHALL BE CONSIDERED DRY STORAGE. THE STORMWATER DETENTION BASIN SHALL SERVE AS THE TEMPORARY SEDIMENT BASIN UNTIL ALL SITE IMPROVEMENTS ARE COMPLETED AND ADEQUATE GROUNDCOVER IS ESTABLISHED OVER THE ENTIRE SITE. AT THAT TIME THE SEDIMENT SHALL BE REMOVED AND THE ENTIRE BOTTOM OF DETENTION BASIN HYDROSEEDDED. ONLY AFTER APPROVAL BY CITY OF SALEM ENGINEERING DEPARTMENT, CONTRACTOR SHALL REMOVE THE SILT FENCE DROP INLET PROTECTIONS AND CLEAN THE ON-SITE STORM SEWER PIPES AS NEEDED.

SEDIMENT BASIN CALCULATIONS

TOTAL AREA DRAINING TO THE SEDIMENT BASIN = 25,360 SF = 0.58 ACRES

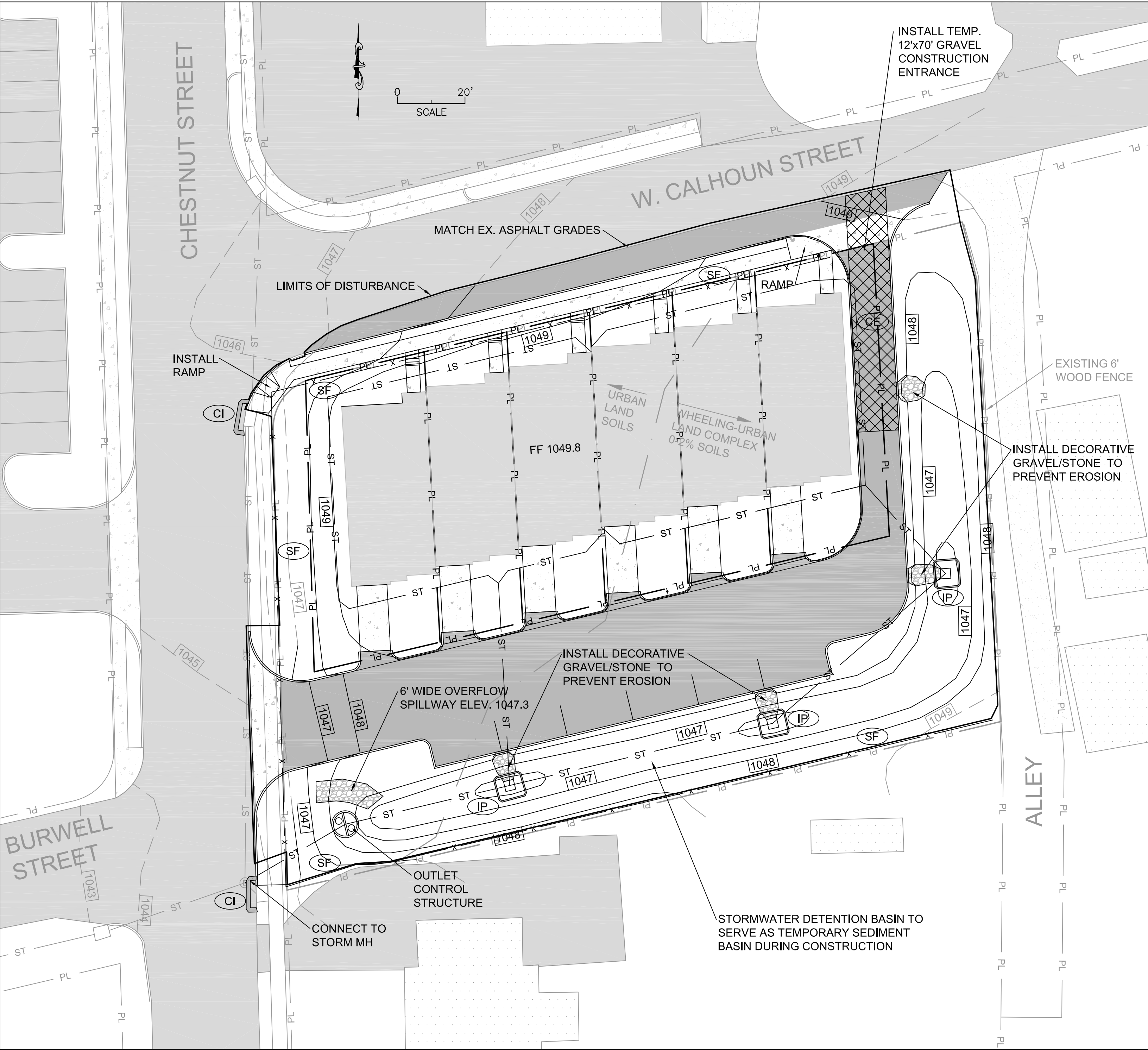
TOTAL SEDIMENT BASIN STORAGE VOLUME REQUIRED = 134 CU.YD x (0.58)
= 77.7 CU.YD.
= 2,098 CU.FT.

WET STORAGE REQUIRED = ½ TOTAL VOLUME = 1,049 CU.FT.

TO CREATE THE SEDIMENT BASIN THE CONTRACTOR SHALL FOLLOW THE GRADING PLAN (SHEET 4) INCLUDING THE DETENTION BASIN. THE OUTLET CONTROL STRUCTURE SHALL BE MODIFIED AS SHOWN ON THE DETAIL ABOVE. THE RESULTING ELEVATION VS. STORAGE TABLE IS SHOWN BELOW:

| TEMP. SEDIMENT BASIN ELEV VS. STORAGE TABLE | | | |
|---|-----------------------|-----------------------------|----------------------------|
| ELEVATION | CONTOUR AREA (SQ.FT.) | INCREMENTAL VOLUME (CU.FT.) | CUMULATIVE VOLUME (CU.FT.) |
| 1045.8 | 0 | 0 | 0 |
| 1046.0 | 280 | 28 | 28 |
| 1046.78 | 2,355 | 1,028 | 1,056 (WET STORAGE) |
| 1047.0 | 2,940 | 582 | 1,638 |
| 1047.15 | 3,309 | 469 | 2,107 (DRY STORAGE) |
| 1048.0 | 5,400 | 3,701 | 5,808 |
| 1048.3 | 6,820 | 1,833 | 7,641 |

FROM THIS TABLE, THE WET STORAGE VOLUME IS ACHIEVED AT ELEVATION 1046.78. THE REQUIRED DRY STORAGE VOLUME IS ACHIEVED AT ELEVATION 1047.15. THE TOP OF THE OUTLET CONTROL STRUCTURE IS 1048.3. THEREFORE, APPROXIMATELY 1.15 FEET OF FREEBOARD ARE PROVIDED.



STORMWATER POLLUTION PREVENTION PLAN

SCALE: 1" = 20'

| NO. | TITLE | KEY | SYMBOL |
|--------|---|-----|----------|
| 3.02 | TEMPORARY STONE CONSTRUCTION ENTRANCE | CE | [Symbol] |
| 3.05 | SILT FENCE | SF | [Symbol] |
| 3.07.1 | SILT FENCE DROP INLET PROTECTION | IP | [Symbol] |
| 3.07.8 | BLOCK & GRAVEL CURB INLET SEDIMENT FILTER | CI | [Symbol] |
| 3.32 | PERMANENT SEEDING | PS | [Symbol] |
| 3.35 | MULCHING (STRAW) | MU | [Symbol] |

CONSTRUCTION SEQUENCE NOTES:

- * INSTALL CONSTRUCTION ENTRANCE (ADD GRAVEL) AS NEEDED.
- * INSTALL SILT FENCING AND CURB INLET FILTERS BEFORE ANY OTHER SITE DISTURBANCE ACTIVITIES.
- * EXCAVATE STORMWATER DETENTION BASIN AND INSTALL STORM SEWER AND DROP INLET PROTECTIONS. TEMPORARY SEED DETENTION BASIN AREA.
- * REGRADE SITE TO FINISH SUB-GRADE ELEVATIONS UTILIZING PROPER COMPACTION METHODS AND REMOVING ANY UNSUITABLE SOILS. IF SITE GRADES REQUIRE ADDITIONAL IMPORT OF FILL MATERIAL TO REACH SUB-GRADE ELEVATIONS. THIS IMPORTED FILL SHALL BE PROPERLY COMPACTED AND COME FROM AN APPROVED OFF-SITE BORROW PIT.
- * INSTALL UNDERGROUND UTILITIES INCLUDING WATER LATERAL, SANITARY SEWER LATERAL, STORM SEWER STRUCTURES AND PIPES, GAS, ELECTRIC, AND TELE-COMMUNICATIONS.
- * IMPORT AND PLACE BASE AGGREGATE UNDER PAVED AREAS AND BUILDING SLAB. USE PROPER COMPACTION TECHNIQUES. OWNER AND CONTRACTOR SHALL DETERMINE THE LEVEL OF TESTING REQUIRED.
- * PLACE BUILDING SLAB, CONCRETE APRONS, CURBS, AND ASPHALT PAVING.
- * DISTRIBUTE TOPSOIL FROM STOCKPILE TO LANDSCAPE AREAS AND ESTABLISH PERMANENT GRADE IN ALL AREAS EXCEPT TEMPORARY SEDIMENT TRAP.
- * ONCE PERMANENT SEEDING IS ESTABLISHED, REMOVE SEDIMENT ACCUMULATED IN SEDIMENT BASIN AND CONTACT CITY OF SALEM FOR INSPECTION.
- * AFTER APPROVAL FROM THE CITY, REMOVE SILT FENCING, AND OTHER EROSION CONTROL MEASURES. PERMANENTLY SEED AND MULCH AREAS DISTURBED DURING REMOVAL OF TEMPORARY EROSION CONTROL MEASURES.
- * ONLY AFTER ENTIRE SITE GROUND COVER IS ESTABLISHED, CONVERT TEMPORARY SEDIMENT BASIN TO PERMANENT DETENTION BASIN.

NOTE: EXISTING SITE CONDITIONS AND UTILITY LOCATIONS ARE BASED ON INFORMATION OF RECORD, FIELD OBSERVATIONS, AND FIELD SURVEY BY PIERSON ENGINEERING & SURVEYING COMPLETED DECEMBER 2020. CONTRACTOR RESPONSIBLE FOR VERIFYING EXACT LOCATIONS OF UNDERGROUND UTILITY MAINS, STRUCTURES, AND SERVICE LATERALS. CONTRACTOR SHALL NOTIFY CITY OF SALEM AND PROJECT ENGINEER IF FIELD CONDITIONS ARE FOUND TO BE SIGNIFICANTLY DIFFERENT THAN AS SHOWN ON THESE PLANS.

| DATE | REVISIONS | # |
|------------|---------------------------|---|
| 03/16/2021 | 1ST SUBMITTAL CITY REVIEW | 1 |
| 04/23/2021 | 2ND SUBMITTAL CITY REVIEW | 2 |
| 05/14/2021 | 3RD SUBMITTAL CITY REVIEW | 3 |
| | | |
| | | |
| | | |
| | | |

SITE DEVELOPMENT PLANS
FOR
CALHOON TOWNHOMES

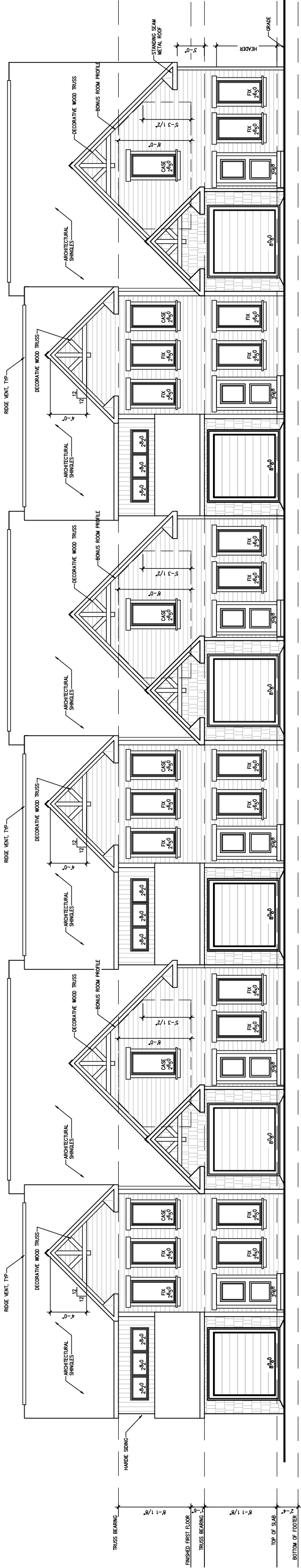
TAX PARCEL ID: 122-9-1
106 CHESTNUT STREET
CITY OF SALEM, VIRGINIA

BRUSHY MOUNTAIN
ENGINEERING, PLLC

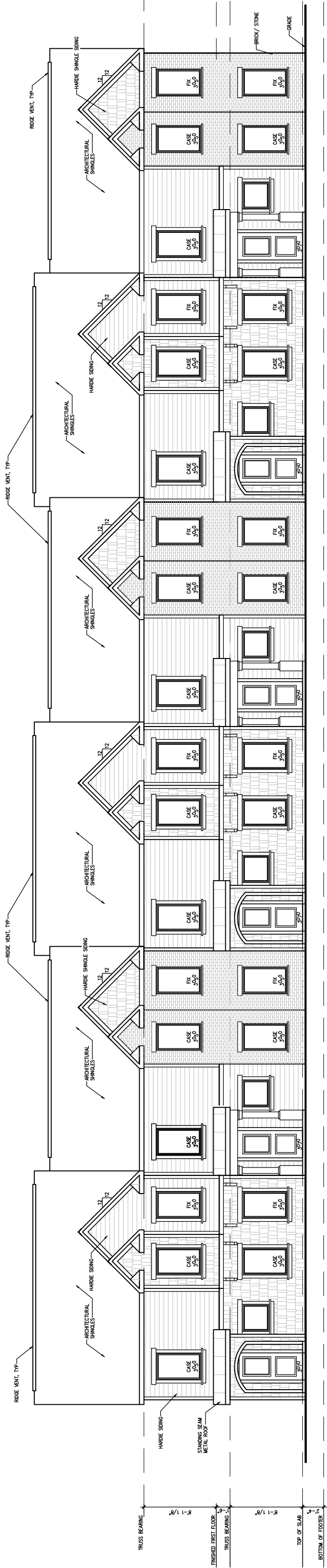
3553 Carvins Cove Road
Salem, VA 24153
(540) 526-6800
www.brushymtnengr.com



| |
|--------------|
| BME JOB # |
| 20-024 |
| SHEET NAME |
| SWPPP |
| SHEET NUMBER |
| 8 OF 8 |



3 BUILDING SOUTH ELEVATION
1/200 SCALE 3/8" = 1'



3 BUILDING NORTH ELEVATION - CALHOUN ST. SIDE
1/200 SCALE 3/8" = 1'

AT A REGULAR MEETING OF THE PLANNING COMMISSION OF THE CITY OF SALEM,
VIRGINIA HELD AT COUNCIL CHAMBERS, CITY HALL, 114 NORTH BROAD STREET,
SALEM, VIRGINIA

AGENDA ITEM:

Salem Historic Registry

Consider petition from JASS Properties, Inc., for inclusion in the Salem Historic Registry of the property located at 401 South Market Street (Tax Map # 145-10-2).

SUBMITTED BY:

Benjamin W. Tripp, AICP, CEcD, City Planner

SUMMARY OF INFORMATION:

This building was originally erected in 1918 for Dr. William Rufus Brown, an important figure in Salem's African-American Water Street community, and the town's only African-American doctor at the time. Dr. Brown was also an active member of the John Wesley Methodist Church, the NAACP, YMCA, and the Salem/Roanoke County Civic League. He also helped to build Carver High School.

The building later served as "Mae's Inn", a prominent restaurant in Salem's then segregated African-American community owned by Ethel May Myers Whitfield. After the restaurant was sold in the late 1950's it became a Masonic lodge (Salem Lodge 120).

On June 17, 2021 this property the Virginia Department of Historic Resources deemed this property to be eligible for nomination to the National Register of Historic Places and the Virginia Landmarks Register.

FISCAL IMPACT:

Adding this property to the Salem Historic Registry will allow regulatory flexibility and encourage the preservation and productive use of the property.

STAFF RECOMMENDATION:

This property meets Criteria B and D for inclusion on the registry. Staff recommends approval.



COMMONWEALTH of VIRGINIA

Department of Historic Resources

Matt Strickler
Secretary of Natural Resources

2801 Kensington Avenue, Richmond, Virginia 23221

Julie V. Langan
Director

June 29, 2021

Tel: (804) 367-2323
Fax: (804) 367-2391
www.dhr.virginia.gov

Alvin J. Everett, President
JASS Properties Inc.
1239 Wildwood Rd.
Salem, VA 24153

Re: Salem Lodge #120, City of Salem

Dear Mr. Everett:

Congratulations. After careful consideration of the Preliminary Information Form (PIF) on **March 25, 2021**, DHR's Evaluation Committee recommended the above-referenced property to be eligible for nomination to the National Register of Historic Places and the Virginia Landmarks Register. Additionally, at its meeting on **June 17, 2021**, the Virginia State Review Board concurred with DHR's recommendation.

Please Note: Approval of the PIF does not result in formal listing in the Registers, nor does it guarantee the property will be formally listed. The recommendation of eligibility referenced here is also subject to re-evaluation if, at any time, the property is insensitively altered or remodeled, partially demolished, or if additional research reveals it to be less historically significant than originally proposed.

To proceed with nomination of this property, the next step is to draft an official nomination packet. I strongly encourage you to coordinate with me throughout the nomination process. **You are welcome to prepare the draft materials or hire a consultant to draft the packet for you; in either case you are responsible for ensuring that the published mandatory procedures are followed. (Please be advised that failure to follow mandatory procedures may result in significant delay in official register listing.)** The completed packet will be the justification for nomination to both the Virginia Landmarks Register and the National Register. Both the **Nomination Form** and the **National Register Checklist** are available to download at <https://www.dhr.virginia.gov/historic-register/register-forms-for-downloading>.

As a courtesy, an **abbreviated** version of the nomination checklist is provided on the reverse of this letter.

Once you have a completed nomination packet, please submit it to me. DHR staff and I will review the nomination to assure it is 1) complete; 2) adequately demonstrates the eligibility of the property for Register listing; 3) supports the arguments presented in the PIF, and 4) resolves any questions raised by DHR staff or State Review Board members during the evaluation process.

Please contact me at 540-387-5443 for advice on proceeding with the nomination and also consult the online guidance materials available at <https://www.dhr.virginia.gov/historic-register/historic-registers-guidance-and-training-materials/>. DHR staff and I will be happy to provide you with notice prior to any formal action concerning your participation in the Register program.

Sincerely,

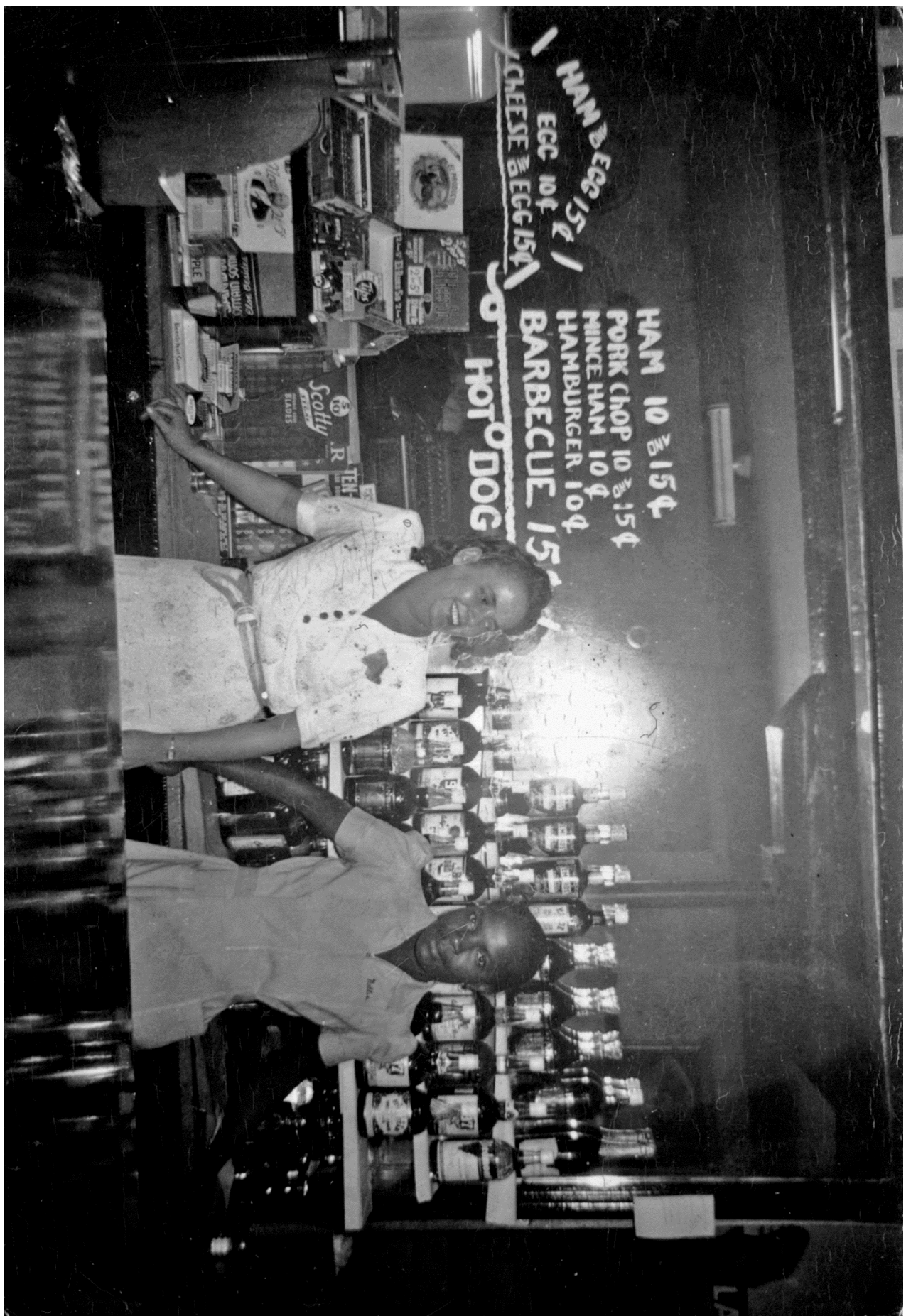
Michael J. Pulice
Architectural Historian, Western Region

Western Region Office
962 Kime Lane
Salem, VA 24153
Tel: (540) 387-5443
Fax: (540) 387-5446

Northern Region Office
5357 Main Street
PO Box 519
Stephens City, VA 22655
Tel: (540) 868-7029
Fax: (540) 868-7033

Eastern Region Office
2801 Kensington Avenue
Richmond, VA 23221
Tel: (804) 367-2323
Fax: (804) 367-2391











Operation Santa Claus—Salem Lodge No. 120



The officers and members of Salem Lodge No. 120, 20th Masonic District in Salem, Virginia were all set to participate in this project recently but a tragic fire at the home of a brother, who is a Non Prince Hall Affiliated, changed their plans. The blaze wiped out all of their worldly possession in the family of a father, mother, and four children, ages five to 12 years old, but spared their lives. Upon hearing this sad news, Salem Lodge 120 cancelled their Operation Santa Claus plans and instead, called in the family of six and presented them with a Christmas dinner, several items of food and clothing, and Christmas gifts for the four youngsters that made them feel like they were King and Queen for a day. The Lodge also asked other community, civic, fraternal and religious organizations for similar gifts, and when received, donated them to the unemployed father. He was more than thankful.

In the photo above, Worshipful Master John H. Bransom, who was recently named by MWGM Robert G. Davis as the "Most Outstanding Worshipful Master of the Year for 1983", presents a check to the father in the family as his lovely wife and constant companion looks on. Also looking on are several officers and members of the Lodge